

For Sale

717.697.2422



8 KEYSTONE DRIVE
LEBANON, PA 17042

HIGH ASSOCIATES LTD.
An Affiliate of High Real Estate Group LLC
Industrial/Commercial Realtors

Annette Cassel Means
717.791.2064 – direct line
ameans@high.net

For Sale

717.697.2422



► Office Use



Annette Cassel Means
717.791.2064 – direct
ameans@high.net

8 Keystone Drive
Lebanon, PA 17042

Building SF:

5,814 SF

Sale Price:

\$745,000

Description:

Beautifully landscaped single story office building located in the Lebanon Valley Business Park near Rtes. 72, 322 and the PA Turnpike. Neighbors include Schott Pharmaceutical, Bell & Evans, Everlast Roofing, Bonduelle, Bemis Flexible Packaging to name a few. Property has room for expansion as well, for the adjacent industrial acreage is for sale. Seller requires 60 days to vacate.

Building Information

Available SF	5,814 SF – can be subdivided into three spaces (see attached floor plans)
Year constructed	1997
Construction	Frame construction on concrete slab
Roof	Asphalt shingle roof
Exterior finishes	Vinyl siding and brick exterior
Interior finishes	Painted drywall, carpet, ceramic tile and unfinished concrete
Ceiling height	8'
HVAC	2 units, one is all electric (heating and AC) One is split (gas heat and electric AC)

For Sale

8 Keystone Drive
Lebanon, PA 17042

Pond	Retention pond
Security system	4 zone security system
Comments	Furniture may be available.
Currently	Very good internet service is available 1.3 G. 450-500 MG/Sec. Landscaping \$80 a week Homeowner's association fee \$400/year

Geographic Information

Township	South Lebanon Township
County	Lebanon County
Zoning	Industrial (see attached zoning ordinance)

Land

Tax map parcel numbers	30-2350249-356008-0000
Acreage	2.31 acres
Parking spaces	25 vehicles, 2 loading spaces

Utilities

Water	Public
Sewer	Public
Natural gas	Yes
Electric	Yes, averages \$250/mo.

For Sale

8 Keystone Drive
Lebanon, PA 17042

Traffic Counts

4,345 Both Dir AADT @ State Drive

4,496 Both Dir AADT @ Evergreen Road

4,474 Both Dir AADT @ Shaffer Road

15,187 Both Dir AADT @ Rte. 72

6,607 Both Dir AADT @ Rte. 897

Demographics

	<u>1 Mile</u>	<u>3 Mile</u>	<u>5 Mile</u>
Population	1,379	9,537	43,794
Households	534	3,731	17,330
Avg. HH Income	\$111,280	\$120,513	\$121,780

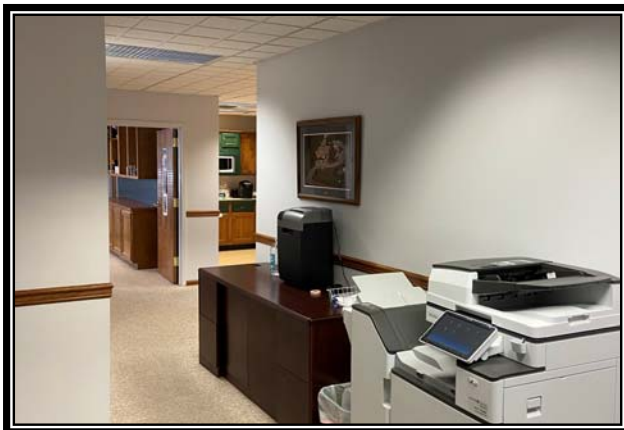
Photos

8 Keystone Drive
Lebanon, PA 17042



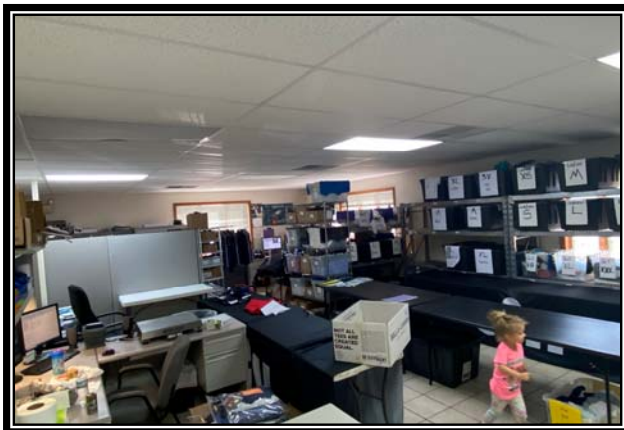
Photos

8 Keystone Drive
Lebanon, PA 17042



Photos

8 Keystone Drive
Lebanon, PA 17042



NEW OFFICE FACILITY
FOR

JAMES C. BROWN

LOCATED AT

LEBANON VALLEY BUSINESS PARK
LEBANON VALLEY PARKWAY
LEBANON, PA 17042

DRAWING INDEX

TS-1	Title Sheet	A-3	Elevations & Building Section
A-1	Floor Plan	A-4	Schedules, Sections & Details
A-2	Elevations & Roof Plan	A-5	Foundation Plan & Details
		LVSLE1	Site Plan

A Design Resulting in Construction Project

WOODLAND CONTRACTORS, INC.
GENERAL CONTRACTORS, CUSTOM BUILDERS
20 South 18th Avenue
Lebanon, Pennsylvania 17042
717/272-9419

W.S. MILLER, IV, P.E.
CONSULTING STRUCTURAL ENGINEERS
3001 Park Street
Harrisburg, PA 17111
717/653-5555

JAMES C. BROWN
1000
8300 OFFICE PARKWAY
LEBANON, PENNSYLVANIA 17042
717/272-9419

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RALPH E. KAYLOR, INC.
ARCHITECTURE
187 RACE STREET, LEBANON, PENNSYLVANIA 17042
(717) 272-9419

W.S. MILLER, IV, P.E.
CONSULTING STRUCTURAL ENGINEERS
3001 PARK STREET
HARRISBURG, PA 17111
717/653-5555



TS-1

PAX (717) 272-9419

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MR. JAMES C. BROWN
NEW OFFICE
213 S. 10TH ST.
MILWAUKEE, WI 53224
TEL: 414.224.1111
FAX: 414.224.1112

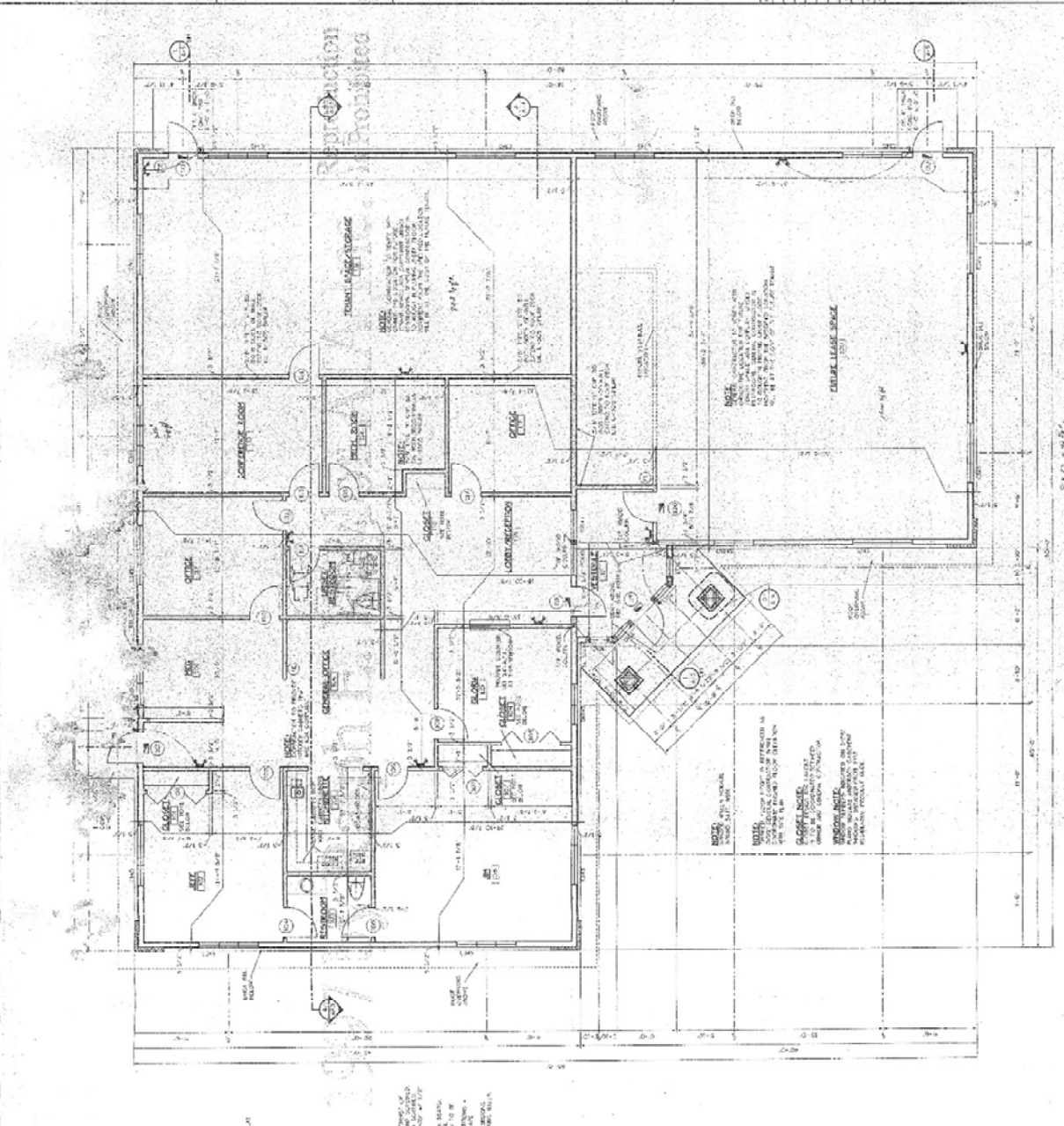
RADPH E. KYJOR MA INC.
REGISTERED ARCHITECT
1000 N. MILWAUKEE AVENUE
MILWAUKEE, WI 53233
TEL: 414.224.1111
FAX: 414.224.1112

NO.	DATE	DESCRIPTION
1	01/23/08	ISSUED FOR PERMIT
2	02/12/08	REVISIONS
3	03/10/08	REVISIONS
4	03/10/08	REVISIONS
5	03/10/08	REVISIONS
6	03/10/08	REVISIONS
7	03/10/08	REVISIONS
8	03/10/08	REVISIONS
9	03/10/08	REVISIONS
10	03/10/08	REVISIONS

MR. JAMES C. BROWN
NEW OFFICE
213 S. 10TH ST.
MILWAUKEE, WI 53224
TEL: 414.224.1111
FAX: 414.224.1112

FLOOR PLAN
NO. 01/23/08
DATE: 01/23/08
BY: JCB

A-1



DESCRIPTION	MAX. RAMP SLOPE
MAINT. CLOSET - MEN	1:12 (8.33%)
MAINT. CLOSET - WOMEN	1:12 (8.33%)
TOILET - MEN	1:48 (2.08%)
TOILET - WOMEN	1:48 (2.08%)
W.C. - MEN	1:48 (2.08%)
W.C. - WOMEN	1:48 (2.08%)

NOTE: ALL RAMP SLOPES SHALL BE MAINTAINED AT 1:48 OR FLATTER. ALL RAMP SLOPES SHALL BE MAINTAINED AT 1:12 OR FLATTER. ALL RAMP SLOPES SHALL BE MAINTAINED AT 1:12 OR FLATTER. ALL RAMP SLOPES SHALL BE MAINTAINED AT 1:12 OR FLATTER.

GENERAL NOTES:
1. ALL WORK SHALL BE IN ACCORDANCE WITH THE 2000 INTERNATIONAL BUILDING CODE (IBC) AND ALL APPLICABLE LOCAL ORDINANCES.
2. ALL MATERIALS AND METHODS SHALL BE APPROVED BY THE ARCHITECT.
3. ALL WORK SHALL BE IN ACCORDANCE WITH THE 2000 INTERNATIONAL BUILDING CODE (IBC) AND ALL APPLICABLE LOCAL ORDINANCES.
4. ALL MATERIALS AND METHODS SHALL BE APPROVED BY THE ARCHITECT.
5. ALL WORK SHALL BE IN ACCORDANCE WITH THE 2000 INTERNATIONAL BUILDING CODE (IBC) AND ALL APPLICABLE LOCAL ORDINANCES.
6. ALL MATERIALS AND METHODS SHALL BE APPROVED BY THE ARCHITECT.

CONCRETE:
ALL CONCRETE SHALL BE 4000 PSI COMPRESSIVE STRENGTH AT 28 DAYS.
ALL CONCRETE SHALL BE CAST AND CURED IN ACCORDANCE WITH THE 2000 INTERNATIONAL BUILDING CODE (IBC) AND ALL APPLICABLE LOCAL ORDINANCES.
ALL CONCRETE SHALL BE CAST AND CURED IN ACCORDANCE WITH THE 2000 INTERNATIONAL BUILDING CODE (IBC) AND ALL APPLICABLE LOCAL ORDINANCES.

FINISHES:
ALL FINISHES SHALL BE IN ACCORDANCE WITH THE 2000 INTERNATIONAL BUILDING CODE (IBC) AND ALL APPLICABLE LOCAL ORDINANCES.
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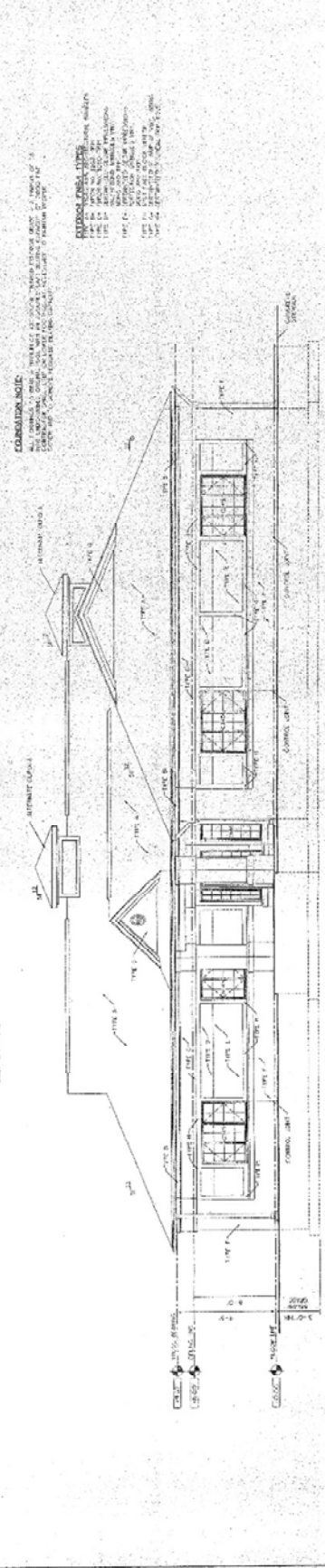
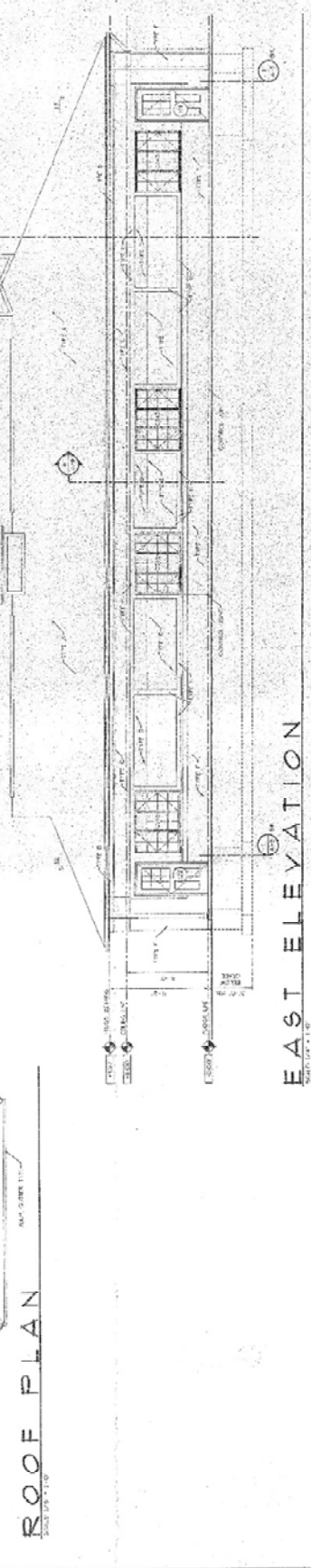
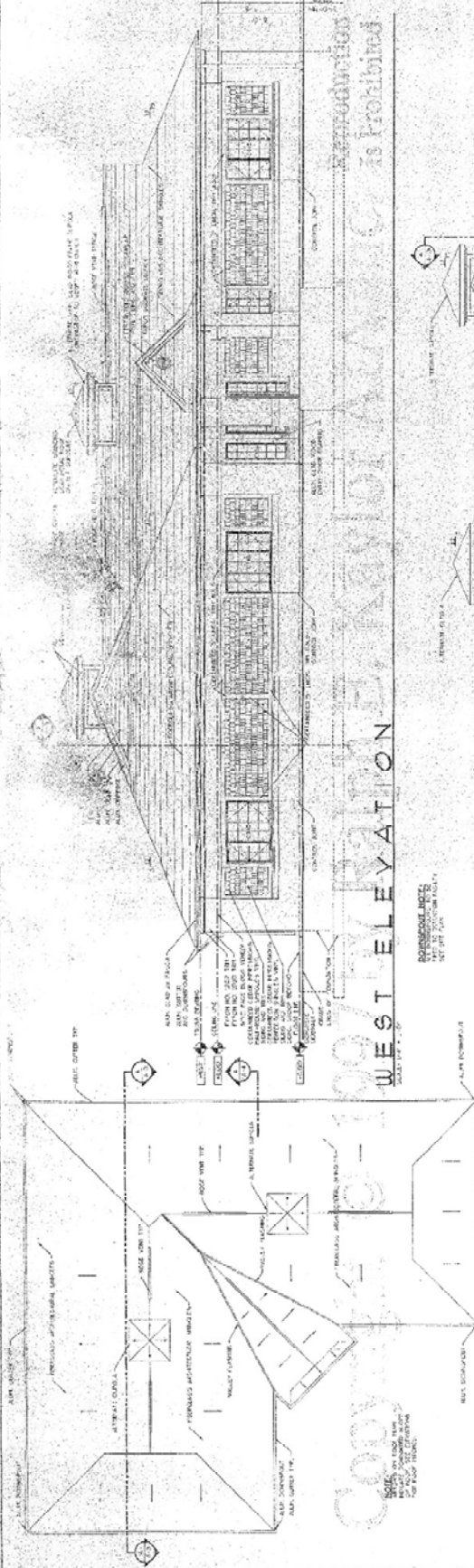
DESCRIPTION	SYMBOL
EMERGENCY EQUIPMENT	(Symbol)
FRONT LOBBY INFORMATION	(Symbol)
EMERGENCY EQUIPMENT LEGEND	(Symbol)
FRONT LOBBY INFORMATION	(Symbol)
EMERGENCY EQUIPMENT LEGEND	(Symbol)
FRONT LOBBY INFORMATION	(Symbol)
EMERGENCY EQUIPMENT LEGEND	(Symbol)

FIRST FLOOR PLAN
SCALE: 1/8" = 1'-0"

ELEVATIONS & ROOF PLAN
NEW OFFICE
MR. JAMES C. BROWN
FOR THE
NORMAN CORNELL COMPANY
1000 WEST 10TH AVENUE
DENVER, COLORADO

RALPH W. KAYLOR ARCHITECT
REGISTERED ARCHITECT
1000 WEST 10TH AVENUE
DENVER, COLORADO

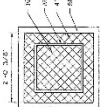
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CONSTRUCTION NOTE:
ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE BUILDING CODES AND SPECIFICATIONS.
ALL MATERIALS SHALL BE OF THE BEST QUALITY AVAILABLE.
ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE BUILDING CODES AND SPECIFICATIONS.

FINISHES:
WALLS - PLASTER AND PAINT
CEILING - PLASTER AND PAINT
FLOORS - POLISHED CONCRETE
ROOF - ASPHALT/FLY ASH

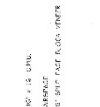
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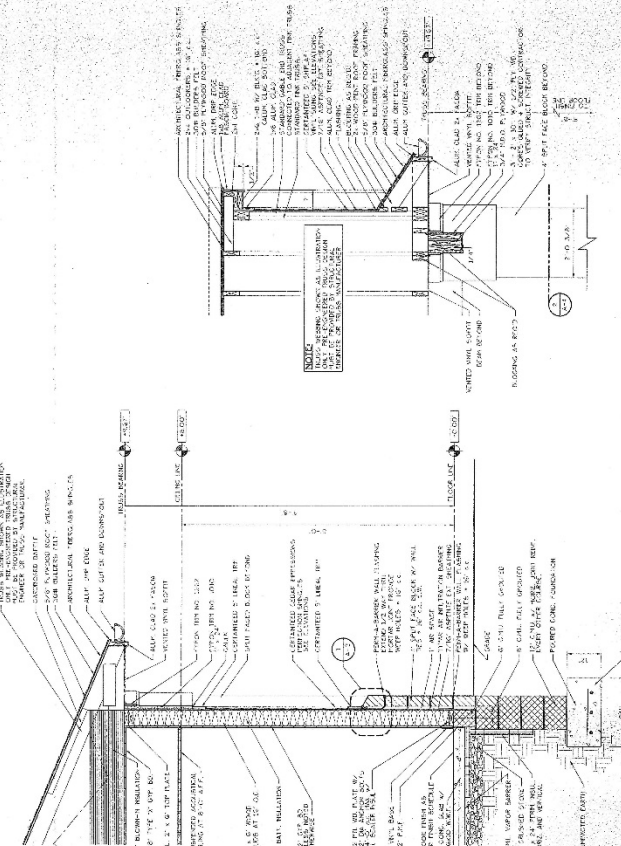
DETAIL 1
 WALL, 2' x 4' STUDS



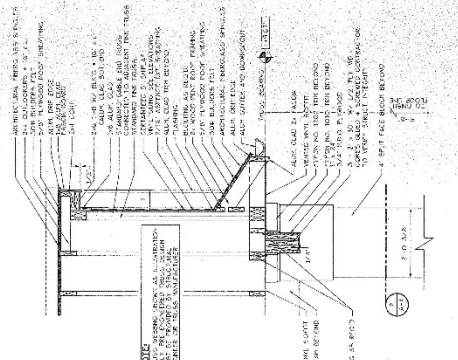
DETAIL 2
 WALL, 2' x 4' STUDS



DETAIL 3
 WALL, 2' x 4' STUDS



TYPICAL WALL SECTION
 WALL AT 2' O.C.



DETAIL 4
 WALL AT 2' O.C.

ROOM FINISH SCHEDULE					DOOR SCHEDULE				
NO.	ROOM NAME	FLOOR	WALL	CEILING	NO.	SIZE	TYPE	FINISH	REMARKS
100	OFFICE	1	1/2\"/>						
101	CONFERENCE	1	1/2\"/>						
102	RECEPTION	1	1/2\"/>						
103	RESTROOM	1	1/2\"/>						
104	STORAGE	1	1/2\"/>						
105	MEETING	1	1/2\"/>						
106	RECEPTION	1	1/2\"/>						
107	OFFICE	1	1/2\"/>						
108	CONFERENCE	1	1/2\"/>						
109	RECEPTION	1	1/2\"/>						
110	OFFICE	1	1/2\"/>						
111	CONFERENCE	1	1/2\"/>						
112	RECEPTION	1	1/2\"/>						
113	OFFICE	1	1/2\"/>						
114	CONFERENCE	1	1/2\"/>						
115	RECEPTION	1	1/2\"/>						
116	OFFICE	1	1/2\"/>						
117	CONFERENCE	1	1/2\"/>						
118	RECEPTION	1	1/2\"/>						
119	OFFICE	1	1/2\"/>						
120	CONFERENCE	1	1/2\"/>						

NEW OFFICE
 MR. JAMES O. BROWN
 SCHEDULES & SECTIONS

RAHPH E. KAYTOR ARCHITECT
 REGISTERED ARCHITECT

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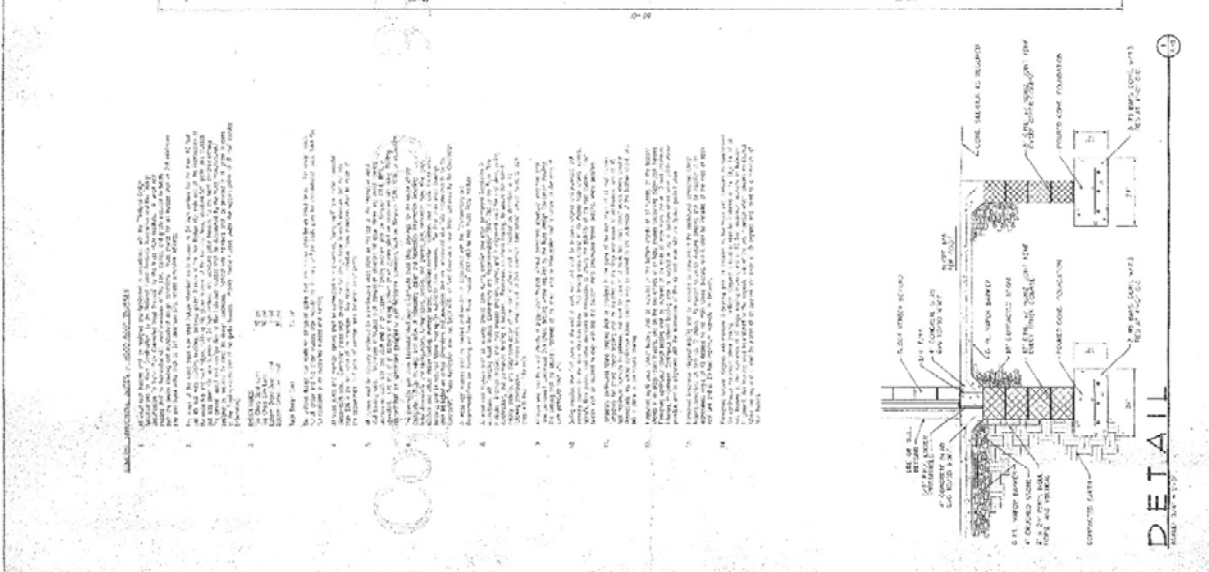
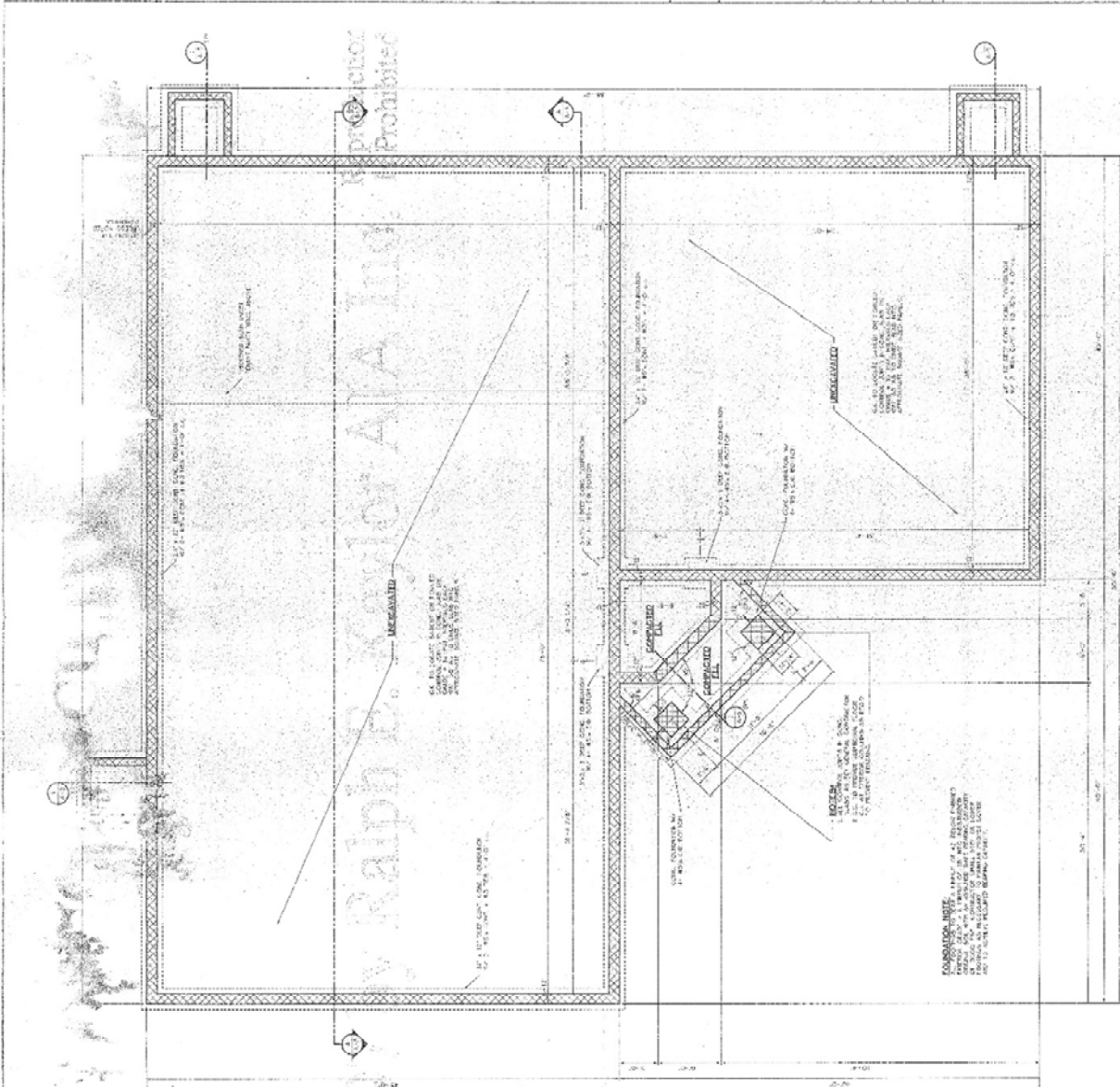
DATE: 10/15/1964
 DRAWN BY: J. J. [unclear]
 CHECKED BY: [unclear]
 APPROVED BY: [unclear]

RAUPH E. TAYLOR ARCHITECTS
 1000 [unclear] AVENUE
 WASHINGTON, D. C. 20004

NO.	DESCRIPTION	DATE
1	FOUNDATION PLAN	10/15/64

MR. LAWRENCE C. BROWN
 NEW OFFICE

A-5



DETAIL

FOUNDATION WALL AND FOOTING SECTION

1. CONCRETE CORE

2. FOUNDATION WALL

3. FOUNDATION FOOTING

4. FOUNDATION BENCH

5. CONCRETE SLAB

6. REINFORCING BARS

7. GRAVEL FILL

8. COMPACTED FILL

9. FINISH FLOOR

10. EXTERIOR FINISH

11. EXTERIOR WALL

12. EXTERIOR FINISH

13. EXTERIOR WALL

14. EXTERIOR FINISH

15. EXTERIOR WALL

16. EXTERIOR FINISH

17. EXTERIOR WALL

18. EXTERIOR FINISH

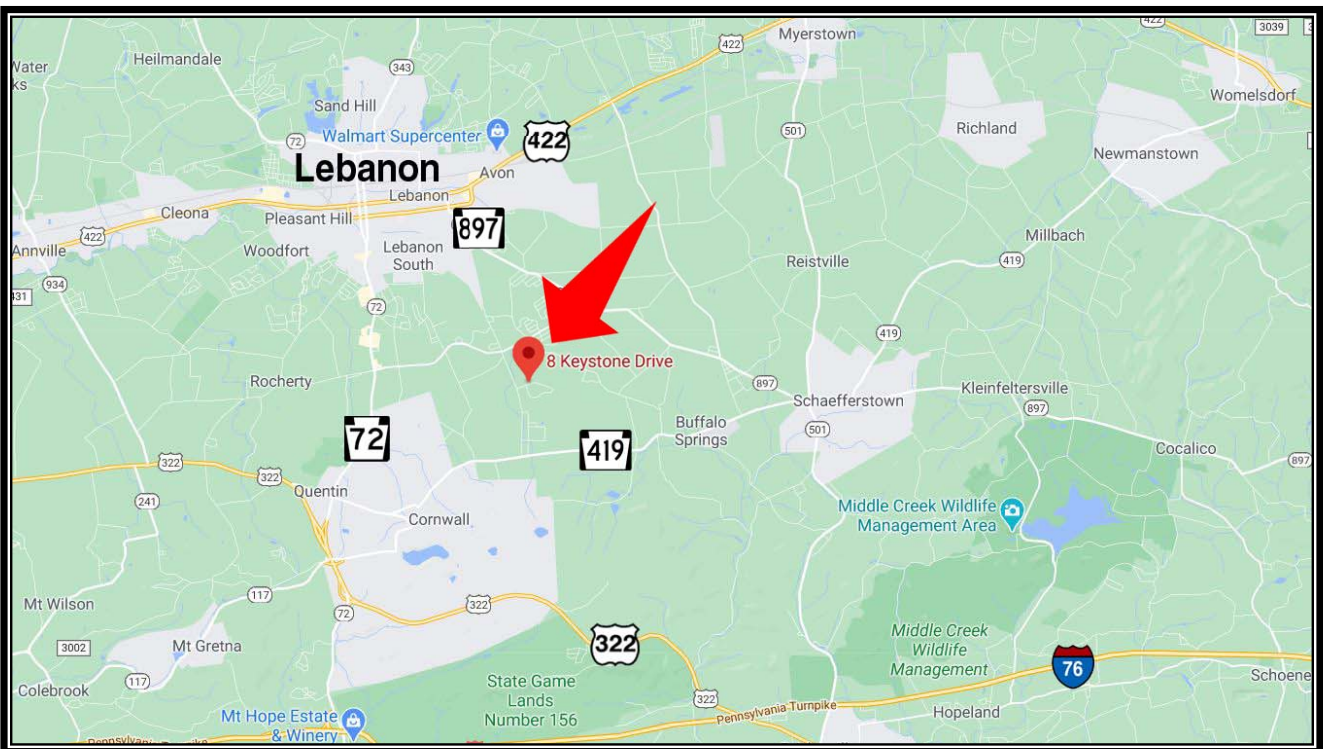
19. EXTERIOR WALL

20. EXTERIOR FINISH

FOUNDATION PLAN

Map

8 Keystone Drive Lebanon, PA 17042



ARTICLE 11

I-1, INDUSTRIAL DISTRICT

SECTION 11.01 INTENT. These districts are designed to accommodate and promote wholesale activities, warehousing, and industrial operations dependent on existing land uses, physical conditions, and the availability of nearby municipal utilities and transport facilities. The district accommodations extensive industrial activities in these areas so as to minimize any detrimental effects that they might have on other uses in the Township and at the same time provides an industrial zone free of encroachment from other activities.

SECTION 11.02 PERMITTED USES.

- A. Any uses not otherwise prohibited by law of a manufacturing, fabricating, processing, compounding, or treatment nature which, in the opinion of the Zoning Administrator, would be non-objectionable in terms of smoke or dust emission, odors, noise, or glare, and will not otherwise be injurious to the public health, safety, and welfare and will not have an adverse effect on adjacent areas. Should the Zoning Administrator feel that there is any likelihood of the aforementioned dangers or nuisances, the applicant shall prove the contrary to the Zoning Hearing Board in an Administrative Review before a permit is issued. In such a case, the Township Planning Commission shall be notified of the hearing in order to provide the Zoning Hearing Board with a recommendation.
- B. Warehousing and wholesaling establishments and storage yards, not including junk yards.
- C. Railroad, trucking, busing, and other transit facilities including storage, repair, and transfer operations.
- D. Automobile body shops, repair garages and gasoline stations provided that the following conditions are met:
 - 1. All gasoline and petroleum pumps shall be located outside of building, no less than thirty-five (35) feet from any road right-of-way line or lot line.
 - 2. All fuel, oil or similar combustible petroleum product storage tanks shall be located under ground at least thirty-five (35) feet from any road right-of-way line or lot line.
 - a. No mechanical or auto body repair work shall be performed out of doors.

3. All automotive parts, dismantled and derelict vehicles, and similar articles or parts thereof shall be stored only within an enclosed building.
 4. Automotive vehicles without valid, current license plates and state inspection shall be restricted according to Section 13.17 of this Ordinance.
 5. Any structure housing an automobile body shop shall be a minimum of fifty (50) feet from any lot line when located adjacent to any residential district.
 6. Flammable and/or combustible materials associated with the automobile body shop use shall be stored within a fireproof enclosure within the principal structure or within an accessory building located no less than fifty (50) feet from any lot line.
- E. Customary accessory uses and buildings incidental to any of the above permitted uses.
- F. Lumber Distribution Warehouse/Retail Facility provided that the following conditions are met:
1. All principal and accessory buildings, storage areas, scales, and distribution areas shall be a minimum of one hundred (100) feet from any road right-of-way line and fifty (50) feet from any side and rear property lines. Additionally, parking facilities shall be a minimum of fifty (50) feet from any road right-of-way line and/or side and rear property lines;
 2. All exterior storage of materials /products shall be in enclosures which are fenced, secured, and maintained in good condition. Said fence shall be at least six (6) feet in height and impenetrable;
 3. All private drives within the facility must be improved with an asphalt, concrete or other similar hard surface, in accordance with ordinance requirements of the Township Supervisors;
 4. No activities shall discharge into the air hazardous amounts of dust or other particulate matter;
 5. Noise levels shall not exceed 60 dBA as measured at the property line of residentially zoned property, or otherwise shall not exceed 70 dBA

6. Where the use abuts a residential district, the buffer area shall be a minimum of one hundred fifty (150) feet and shall be planted with a double-wide dense screen planting (minimum width of 10 feet) for the entire length of the residential district area.
- G. Laboratories for scientific or industrial research and development.
- H. Industrial Enterprise Offices, National and regional Corporate Headquarters, Computer, Clerical and Operations Centers for industrial enterprises subject to the following criteria:
1. The industrial enterprise shall mean an enterprise other than a mercantile, commercial or retail enterprise.
 2. Office operations are designed to attract little or no customer or client traffic other than employees of the enterprise.
 3. No outdoor storage shall be permitted within the front or side yards. In rear yards, all outdoor storage areas shall be screened from adjoining properties and roads.
- I. Communication facilities requiring transmission antennas, towers, radio or television stations, satellite earth stations, and similar uses provided the following conditions are met:
1. All communication equipment, including antennas and their associated structures or supports, shall meet principal building/structure setbacks and maximum height limitations and shall not be located in required buffer areas.
 2. All ground-mounted antennas shall be completely enclosed by a minimum eight (8) feet high fence topped by a minimum of one (1) foot of barbed wire strands.
 3. Antennas or towers and their associated structures or supports shall be neutral in color and shall not contain or be a part of any form of advertising message or sign.
 4. Radiation emissions from communications equipment associated with the above uses shall not be detectable at or beyond the property line.
- J. Upon approval by the Zoning Hearing Board, the following Special Exception uses are permitted provided that the use complies with the conditions listed herein and the applicable requirements specified in Article 20 of this Ordinance:

1. Automobile recycling and junk yards used for storage, wrecking, and converting used or discarded materials provided that the following conditions are met:
 - a. Minimum lot area of ten (10) acres.
 - b. Such use shall be completely enclosed by an evergreen screen planting to be planted and maintained at a height of not less than eight (8) feet and backed by a solid fence not less than six (6) feet in height.
2. Air fields, strips, or landing facilities and building accessories provided that the following conditions are met:
 - a. Minimum lot area of ten (10) acres.
 - b. Applicant shall submit a plot plan of the lot indicating the runway and approach area and existing residences located within a five hundred (500) foot radius of the runway.
 - c. Runway shall be no closer than one hundred (100) feet to any residential district, and no closer than fifty (50) feet to any property line or road right-of-way line.
 - d. A description of equipment and facilities to be utilized, and a description of overall development plans for the lot shall be made available to the Zoning Hearing Board.
 - e. The airport approach area shall be defined as a three hundred (300) foot wide area lying within and below an inclined plan extending outward horizontally one thousand (1,000) feet at a ratio of one (1) foot of height for each twenty (20) feet from each end of the runway. No building, structure or airport hazard shall exceed one (1) foot in height, for each twenty (20) feet of length of an established airport runway, with no structure or airport hazard to exceed thirty-five (35) feet in height anywhere within the lot.
 - f. Any pulsating or intermittent lighting is prohibited.
 - g. Flood lights, spot lights and other lighting devices shall be arranged or shielded so as to illuminate parallel to the ground and not in an upward direction.

- h. Any radio or electronic device shall be permitted only with approval and license by the Federal Communications Commission.
 - i. All facilities of this nature shall conform and operate under the standards set by the FAA and the Pennsylvania Aeronautical Commission.
 - j. The Zoning Hearing Board may impose other conditions as are appropriate to public safety and welfare, including hours of operation, frequency of use and a location in relation to existing residences.
3. Sandpits, gravel pits, removal of topsoil, and the excavation, extraction or removal of any natural resource, from the land or ground for any purpose, are permitted subject to the following conditions:
- a. Application for the Special Exception shall be accompanied by an approved Department of Environmental Protection permit authorizing said activities.
 - b. The proposed operation shall not adversely affect soil fertility, drainage, and lateral support of abutting land or other properties, nor shall it contribute to soil erosion by water or wind.
 - c. Where any open excavation will have a depth of ten (10) feet or more and a slope of more than thirty (30) percent, there shall be an appropriate, protective fence with suitable gates where necessary, effectively blocking access to the area in which extraction is located. Such fence shall be located no less than fifty (50) feet from the edge of the excavation. All operations shall be screened from nearby residential uses as required by the Zoning Hearing Board.
 - d. That portion of access roads located within one hundred (100) feet of any lot in residential use of lot zoned residentially shall be provided with a dustless surface. Access roads shall connect to collector or major road networks avoiding undue movement through residential areas.
 - e. At all states of operations, proper drainage shall be provided to prevent the collection and stagnation of water and to prevent harmful effects upon surrounding properties.

- f. A site plan for rehabilitation, showing both existing and proposed final contours, shall be submitted. After any such operations, the site shall be made reusable for a use permitted in the Zoning District. Where topsoil is removed, sufficient arable soil shall be set aside for retention on the premises and shall be respread over the premises after the operation is terminated. Except where lakes are created and retained, the area shall be brought to final grade by a layer of earth at least two (2) feet deep or to original thickness, whichever is less, and capable of supporting vegetation. Fill shall be of an acceptable material.

SECTION 11.03 LOT AND YARD REQUIREMENTS. A lot area, lot width, lot coverage, yard depths, and building height satisfying the requirements of the following list, unless otherwise specified heretofore in this section or Section 11.02, shall be provided for every principal building or use hereafter erected, altered, or established in this district.

A. LOT AREA, LOT WIDTH AND COVERAGE REQUIREMENTS

1. Minimum lot area - 2 acres
2. Minimum lot width - 200 feet
3. Maximum lot coverage - 50%

B. YARD REGULATIONS - For every principal or accessory building or use in the Industrial District, the minimum yard regulations shall be as follows:

1. Required front yards, measured from the road right-of-way line (lot line) to the building, are as follows:
 - a. A depth of not less than 100 feet along any road right-of-way.
 - b. A depth of 150 feet if said front yard is across the street from a residential district.
2. Required side yards, measured from the lot line to the building line, are as follows:
 - a. Not less than twenty (20) feet on each side of the building.

- b. No building or structure shall be located less than 150 feet from any residentially zoned district.
 3. Rear yards of not less than thirty (30) feet shall be provided, except than no building or structure shall be located less than 150 feet from any residentially zoned district.
 4. All yards shall be appropriately landscaped and well maintained in accordance with Article 14 of this Ordinance.
- C. HEIGHT REGULATIONS - The height of any principal or accessory building shall not exceed seventy-five (75) feet, except that chimneys, flagpoles, towers, water tanks, and other mechanical appurtenances may be built to a height not to exceed 125 feet above the finished grade when erected upon or as an integral part of the building.

SECTION 11.04 MINIMUM OFF-STREET PARKING AND LOADING REQUIREMENTS. Off-street parking and loading shall be provided in accordance with the requirements of Article 15 of this Ordinance.

SECTION 11.05 SIGNS AND ADVERTISING STRUCTURES. Signs shall be permitted in accordance with Article 16 of this Ordinance.

SECTION 11.06 SUPPLEMENTARY DISTRICT REGULATIONS. The Supplementary District Regulations in Article 13 shall apply, where applicable, as additional requirements for this district.

SECTION 11.07 ENVIRONMENTAL IMPROVEMENTS AND ENERGY CONSERVATION REQUIREMENTS. The environmental and energy requirements in Article 14 shall apply, where applicable, as additional requirements for this district.

8 Keystone Drive
Lebanon, PA 17042



An Affiliate of High Real Estate Group LLC
Industrial/Commercial Realtors

1853 William Penn Way
Lancaster, PA 17601

717.291.2284
FAX 717.293.4488
1.800.638.4414

5000 Ritter Road
Suite 201
Mechanicsburg, PA 17055

717.697.2422
FAX 717.697.0870
1.800.213.0094

495 Highlands Boulevard
Suite 103
Coatesville, PA 19320

610.380.8437
FAX 610.380.0583

11020 David Taylor Drive
Suite 130
Charlotte, NC 28262
704.688.0800
FAX 704.688.0801

6497 Parkland Drive
Suite E
Sarasota, FL 34243
941.756.5599
FAX 941.758.7614

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