

For Lease

717.293.4477



An Affiliate of High Real Estate Group LLC  
Industrial/Commercial Realtors



610 LOMBARD ROAD  
RED LION, PA 17356

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- Property Information Sheet
- Property Photos
- Site Plans
- Location Maps
- Aerial Photo/Tax Map
- Zoning Ordinance
- ESRI Site Map
- ESRI Executive Summary
- ESRI Retail MarketPlace Profile
- ESRI Traffic Count Map



► Office/Retail Space



610 Lombard Road  
Red Lion, PA 17356

**Available Square Feet**  
24,000 square feet

**Lease Rate**  
\$17.00 - \$20.00/SF N/N/N

**Description**  
Building to be constructed. Approximately 24,000 square feet, or owner will consider two separate buildings. Located along main roads around other retail and office uses.

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**PARCEL/PROPERTY INFORMATION**

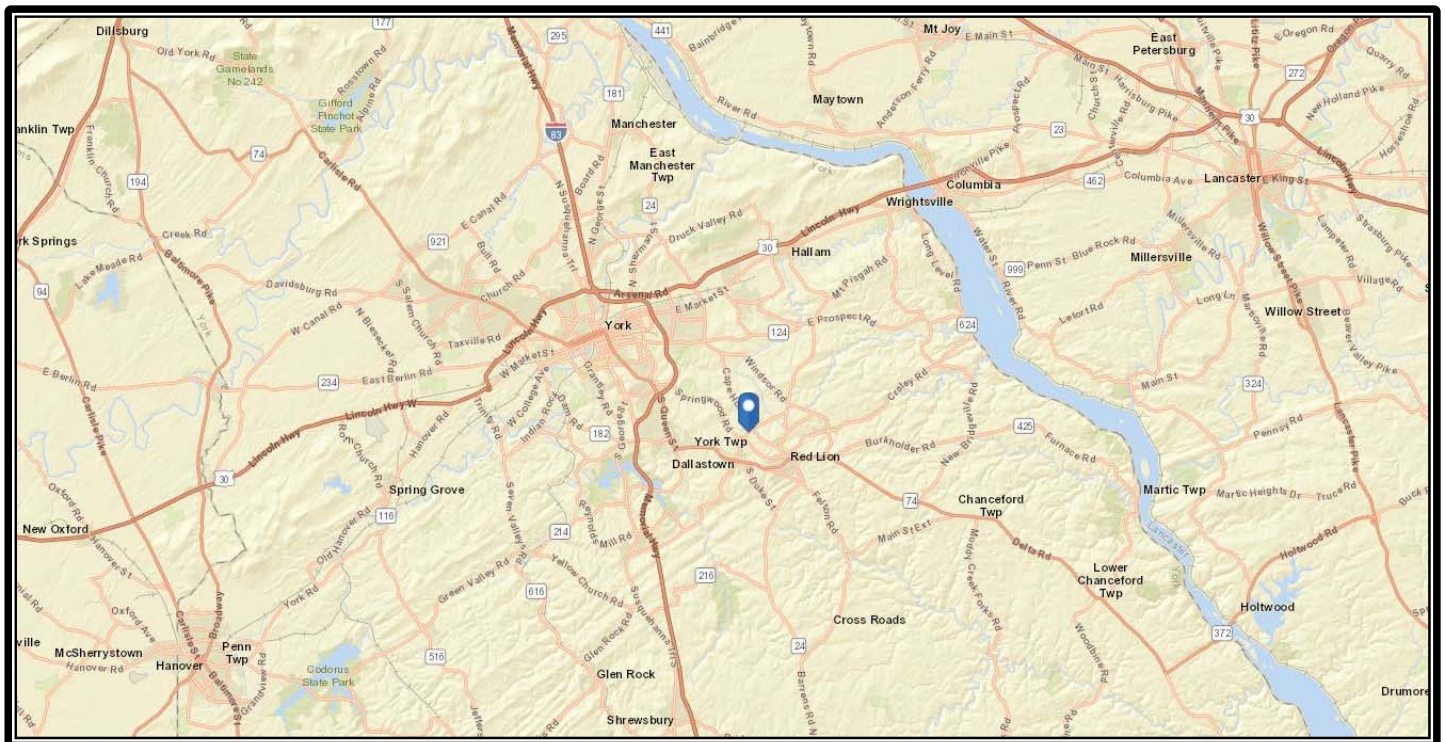
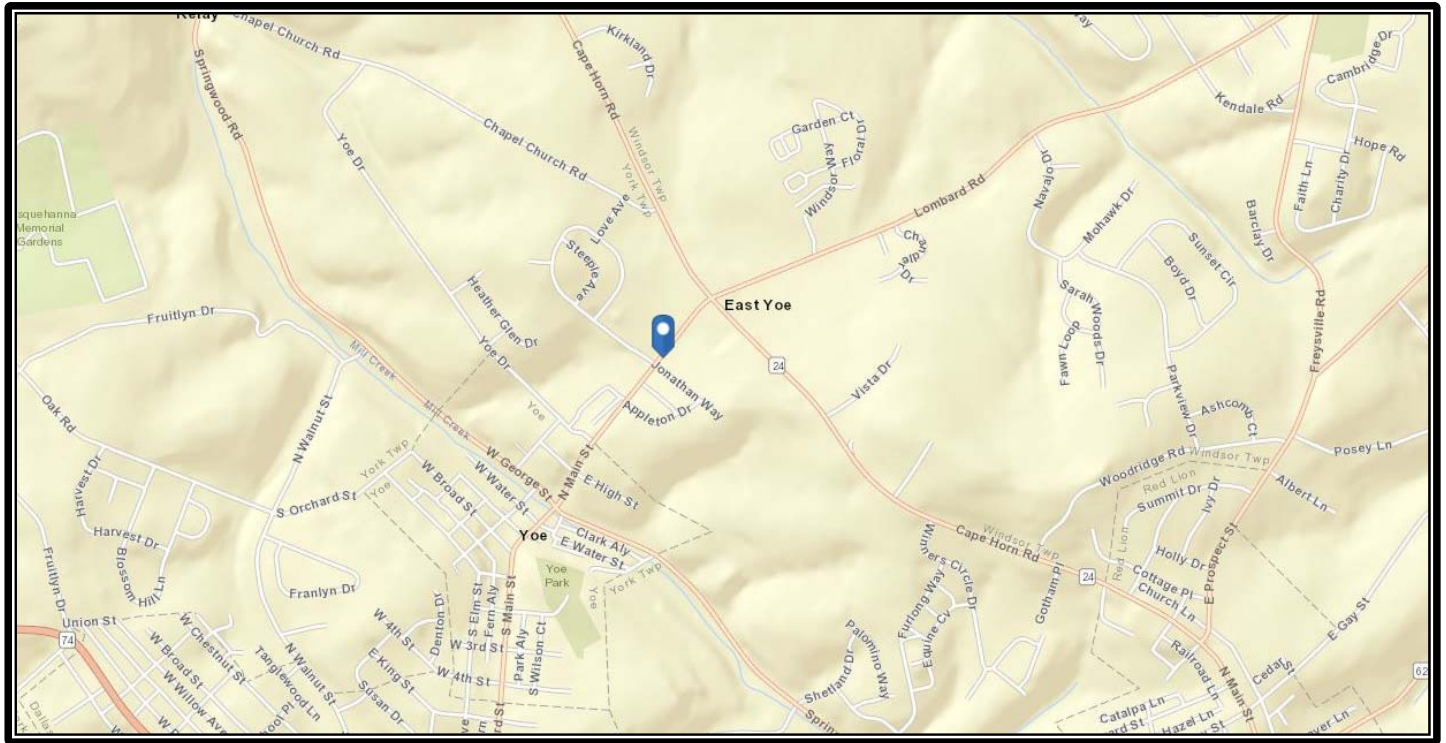
Total Square Feet	24,000 square feet
Retail Square Feet	TBD
Year Constructed	2019/2020
Construction Type	Masonry and steel
Ceiling Height	Approximately 10 feet
Air Conditioning	Central A/C (electric) – roof top units
Heating	Natural gas heat – roof top units
Electric	TBD

Roof	Rubber
Water	Public
Sewer	Public
Gas	Yes
Parking	Yes
Zoning	Commercial Shopping District
Acres	3.4 acres
Sprinklers	Yes (wet system)
Municipality	York Township
County	York County
Tax Parcel Account#	54-000-HJ-0066N-000000

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**SECTION 265-407. COMMERCIAL SHOPPING (CS) DISTRICT**

A. Purpose

The purpose of the CS district is to provide reasonable standards for the development of areas for retail shopping and services designed to meet the daily needs of Township residents; to ensure a sustainable business environment and to otherwise create conditions conducive to carrying out the purposes of this Section.

B. Permitted Uses

A building may be erected or used and a lot may be used or occupied, for any of the following uses:

1. Assisted Living/Personal Care/Skilled Nursing/Senior Congregate Living Facility - see Section 265-609
2. Bank and Similar Financial Institution
3. Car Wash - see Section 265-615
4. Coffee or Tea Shop
5. Convenience Store (without fuel dispensing) - see Section 265-623
6. Day Care Center, Child or Adult - see Section 265-626
7. Essential Services - see Section 265-629
8. Forestry (Timber Harvesting) - see Section 265-632
9. Funeral Home - see Section 265-634
10. House of Worship - see Section 265-643
11. Laundromat/Laundry/Dry Cleaning Service - see Section 265-645
12. Medical Center, Medical Office, Medical Research Facility
13. Municipal park, Playground and/or Recreation Area - see Section 265-649
14. Museum and/or Similar Cultural Facility
15. Office - Professional, Business
16. Personal Service
17. Radio/Television Transmitting Facility
18. Recreation Facility (Indoor) - see Section 265-655
19. Recreation Facility (Outdoor) - see Section 265-656
20. Retail Store
21. Restaurant; Restaurant, Take Out; Restaurant, Fast Food - see Section 265-661
22. Rooming House - see Section 265-663

23. School, Commercial or College/University - see Section 265-665
24. Shopping Center/Shopping Mall - see Section 265-670
25. Social/Fraternal Club or Organization - see Section 265-671
26. Strip Center - see Section 265-673
27. Theater and/or Meeting Facility
28. Transportation Passenger Terminal - see Section 265-674
29. Veterinary Office
30. Accessory uses on the same lot with and customarily incidental to any of the above permitted uses including; (additional regulations found in Article 5-General Regulations and Article 6-Specific Regulations).
  - a. Automated Teller Machine
  - b. Bus Shelter
  - c. Communication Antenna, Accessory
  - d. Drive Through Facility
  - e. No Impact Home-Based Business
  - f. Outdoor Seating Area
  - g. Seasonal Roadside Stand
  - h. Seasonal Sales
  - i. Sheds, Detached Garage, Gazebo, Pergola, Greenhouse
  - j. Solar and/or Geothermal
  - k. Temporary Use

C. Special Exception Uses

The following special exception uses may be allowed by the Township Zoning Hearing Board, pursuant to the express standards and criteria set forth in Article 6-Specific Regulations and the general standards set forth in Section 265-1009-Special Exceptions:

1. Bar
2. Communication Antenna, Tower and Equipment
3. Commercial Greenhouse, Nursery and/or Garden Center
4. Convenience Store (with fuel dispensing)
5. Farm Market/Farm Co-op
6. Fuel Dispensing Station
7. Golf Course/Facility
8. Group Facility

9. Hospital
10. Hotel/Motel
11. Public/Quasi-public Parking Lot
12. Public/Semi-Public Building and Use
13. Rehabilitation/Therapy Facility
14. Roadside Market
15. Vehicle Sales, Repair and/or Inspection Facility
16. The following accessory uses:
  - a. Alternative Energy System (excluding solar and/or geothermal)
  - b. Day Care, In Home
  - c. Domiciliary Care Home
  - d. Home Occupation
  - e. Helipad
17. Vertical Self-Service Storage Facility

D. Minimum Setbacks

Except as may be modified in Article 6, *Specific Standards*, minimum setbacks for principal and accessory uses permitted in this district are:

1. Front - twenty-five (25) feet
2. Side - ten (10) feet
3. Rear - twenty (20) feet

E. Maximum Building Height

1. Principal buildings - forty-five (45) feet. The height may be increased by one (1) foot for each additional foot that all front, side and rear setbacks are increased, but may not be increased by more than ten (10) feet.
2. Accessory buildings/structures - fifteen (15) feet. The height may be increased by one (1) foot for each additional foot that all front, side and rear setbacks are increased, but may not be increased by more than five (5) feet.

F. Lot Area, Width and Frontage Requirements

1. Minimum Net Lot Area required is 10,000 s.f. for all uses unless otherwise stipulated in Article 6.
2. Minimum lot width required is 100 feet as measured at the building setback line.
3. Minimum lot frontage required is eighty (80) feet as measured at the street right-of-way line.

G. Lot coverage for all uses shall not exceed eighty-five (85) percent of Net Lot Area.

H. Waiver of Side Yards

Two side yards are required, 10 feet wide for each side of a principal building. No side yards shall be required where two or more non-residential uses abut side to side and both buildings shall meet the requirements of Section 523 of the SALDO, provided that a written agreement between the adjoining landowners involved is presented to the Township, approved by the Township Solicitor and recorded in the office of the Recorder of Deeds for York County, PA.

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