

FOR SALE

iHIGH ASSOCIATES LTD.
An Affiliate of High Real Estate Group LLC
Industrial/Commercial Realtors



4031 COLUMBIA AVENUE
COLUMBIA, PA 17512

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For Sale

4031 Columbia Avenue
Columbia, PA 17512



▶ *Retail Investment Property*



*4031 Columbia Avenue
Columbia, PA 17512*

Available Square Feet

6,240 square feet

Sale Price

\$820,000

Description

Cash flowing N/N/N investment with long established business in place. Tenant signed a five-year lease renewal and all expenses are paid by the Tenant. Solid building with plenty of parking. For tenant's confidential sales records, contact listing agent.

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BUILDING INFORMATION

Total Square Feet	6,240 square feet
Construction	Brick
Year Constructed	1970
Floor Type	Wood and concrete
Ceiling Height	8 feet
Sprinklered	No
HVAC	Electric
Air Conditioning	Heat pump

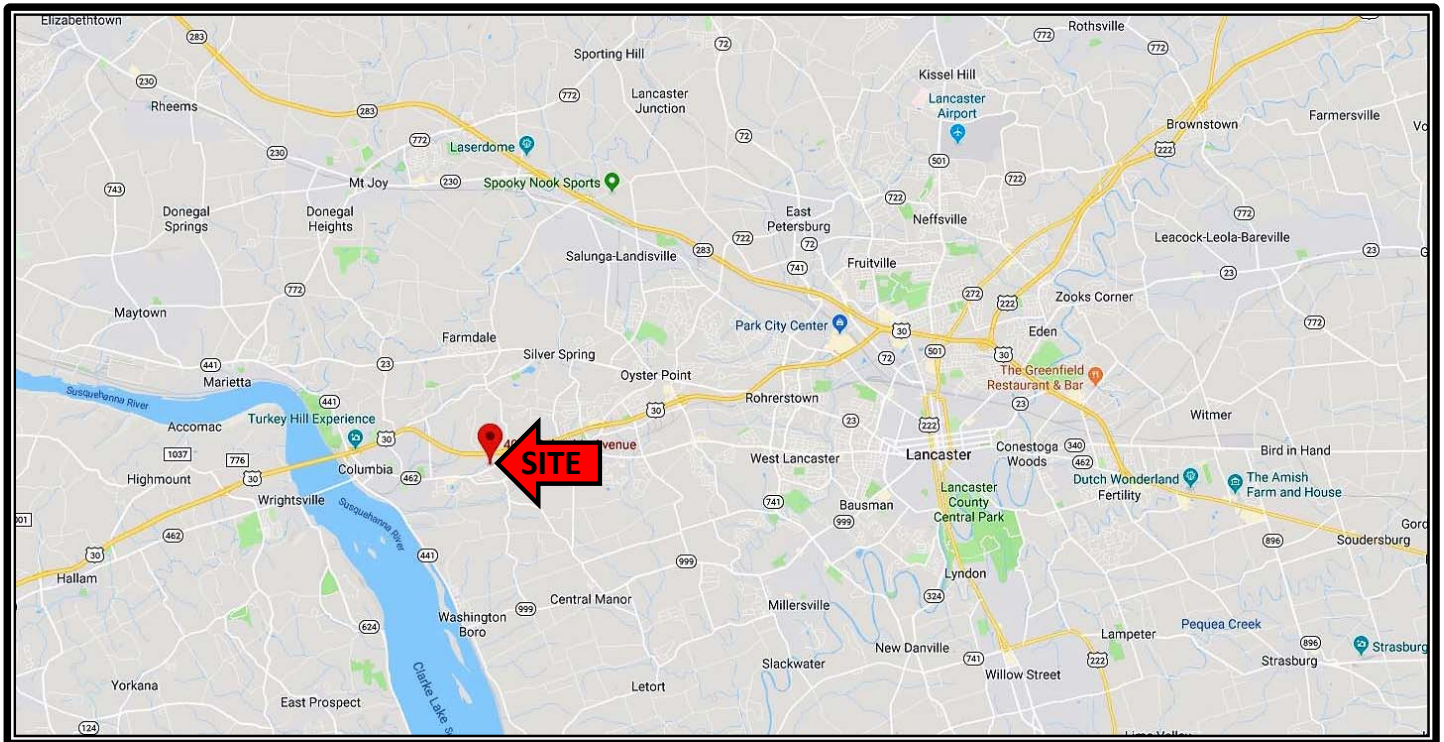
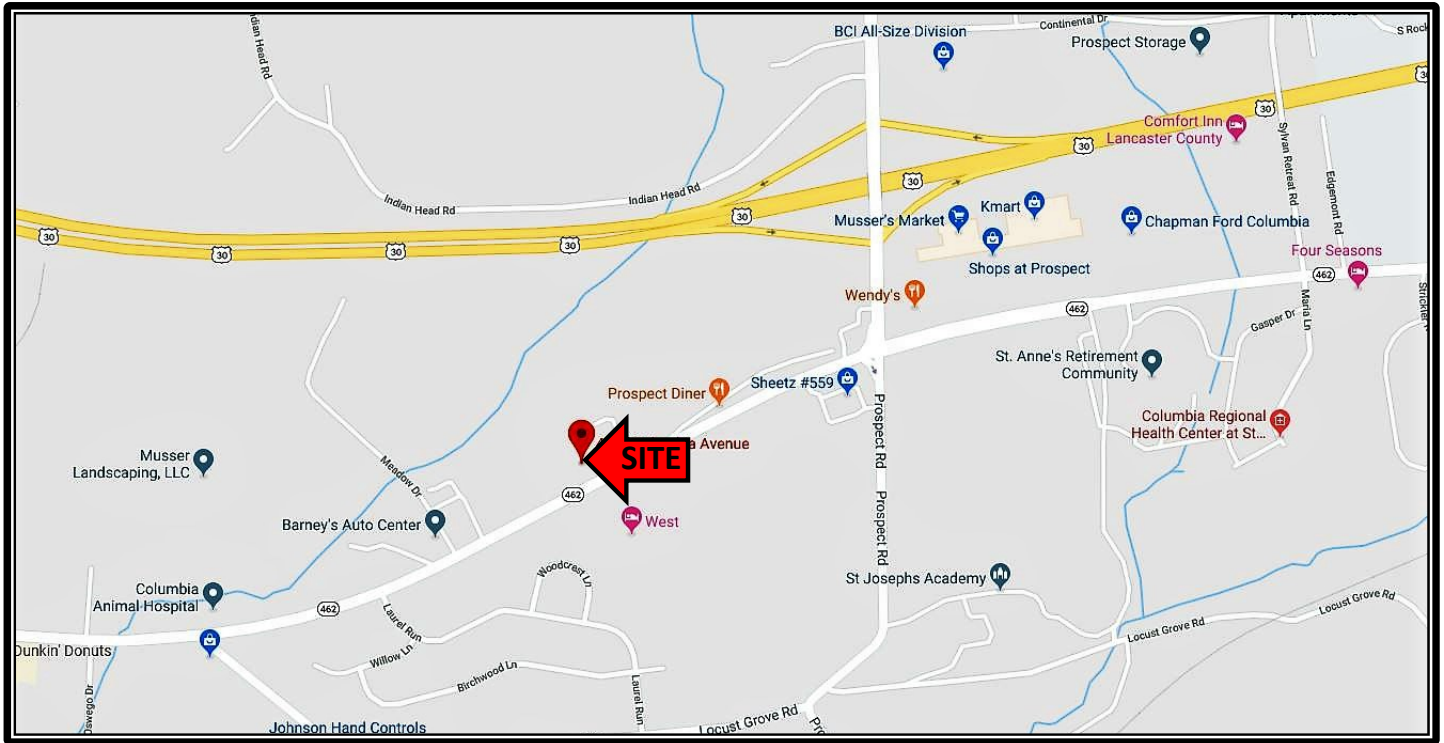
For Sale

4031 Columbia Avenue
Columbia, PA 17512

Roof	Shingle and rubber
Water	Public
Sewer	Public
Parking	65 on-site parking spaces
Acres	.70 acre
Zoning	Commercial (C-2) zoning
Tax Account Number	300-34766-0-0000
Deed Reference Number	6001662
Municipality	West Hempfield Township
County	Lancaster County
Recent Tenant Investment	<ul style="list-style-type: none">▪ New Sign▪ Two new bars in multi-level building

Information furnished regarding property for sale or rent is from sources deemed reliable, but is not guaranteed. No warranty or representation is made as to accuracy thereof and is submitted subject to errors, omissions, change of price, or other conditions, prior sale or lease or withdrawal without notice. No liability of any kind is to be imposed on the broker herein.

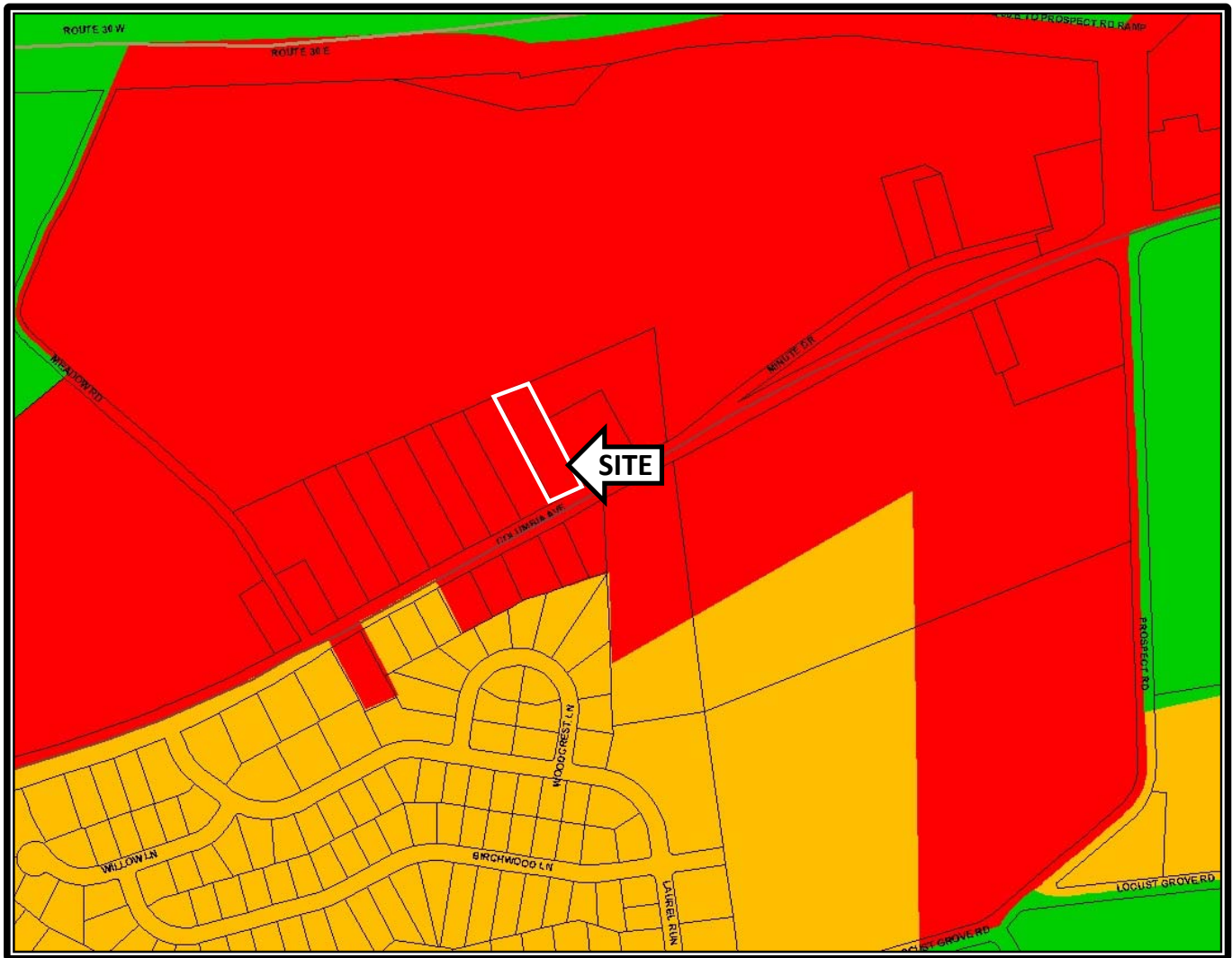








300-34766-0-0000



Commercial (C-2) Zoning

SECTION 402

C-2 COMMERCIAL DISTRICT

402.1 INTENDED PURPOSE

It is the purpose of the C-2 Commercial District to provide for highway oriented commercial activities in areas best suited for such purpose.

402.2 USES AND STRUCTURES

A. Permitted Uses

1. Any use permitted as of right in the C-1 Neighborhood Commercial District.
2. Hotel, Motel.
3. Indoor and outdoor recreational facility.
4. Vehicular sales and/or service establishment.
5. Indoor and outdoor motion picture theaters.
6. Municipal uses.
7. Miniwarehouse subject to the provisions of §710.1 herein.
8. Office.
9. Office complex.
10. Conference and resort center.
11. Buildings, structures and uses accessory to the above permitted uses.

B. Special Exception

1. Mobile home park, subject to the provisions of Section 702.5.
2. Wholesale sales, storage and distribution.
3. Private clubs.
4. Public parking lot/garage.

5. Adult Establishment subject to the provisions of Section 702.7

C. Conditional Use

1. Planned shopping center subject to the provisions of 703.2.
2. Retail store exceeding 8000 square feet of gross floor area other than a planned shopping center subject to the provisions of Section 703.5.

402.3 LOT AREA, LOT WIDTH, AND COVERAGE REQUIREMENTS

A. The following regulations shall be observed:

1. Minimum lot area with public sewer and water - ten thousand (10,000) square feet.
2. Minimum lot area without public sewer and water - one (1) acre
3. Minimum lot width at street line with public sewer and water - seventy-five (75) feet.
4. Minimum lot width at street line without public sewer and water - one hundred fifty (150) feet.
5. Minimum landscape area - thirty-five (35%) percent shall be dispersed throughout the lot development area and not concentrated in one large area.

402.4 SETBACK REGULATIONS

A. Front Yard Front yard setback distances are determined by the kind of road or highway on which the property abuts as follows:

1. Arterial - Seventy (70) feet from the right of way line or ninety (90) feet from the street centerline, whichever is the greater.
2. Collector - Sixty (60) feet from the street right of way line or eighty (80) feet from the street centerline, whichever is the greater.
3. Local - Fifty (50) feet from the street right of way line or seventy (70) feet from the street centerline, whichever is the greater.

- B. Side Yard Each building or structure shall have two (2) side yards, neither of which shall be less than twenty (20) feet.
- C. Rear Yard Fifty (50) feet.

402.5 BUILDING HEIGHT REGULATIONS

- A. Maximum building height - forty (40) feet.

402.6 OFF-STREET PARKING REGULATIONS as provided for in §707.

402.7 SIGN REGULATIONS as provided for in §708.

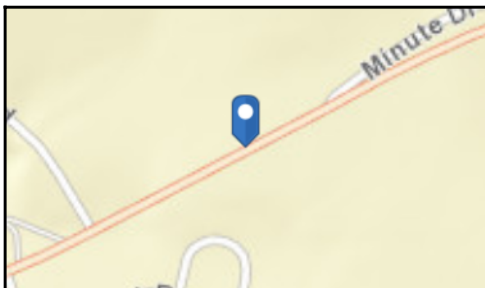
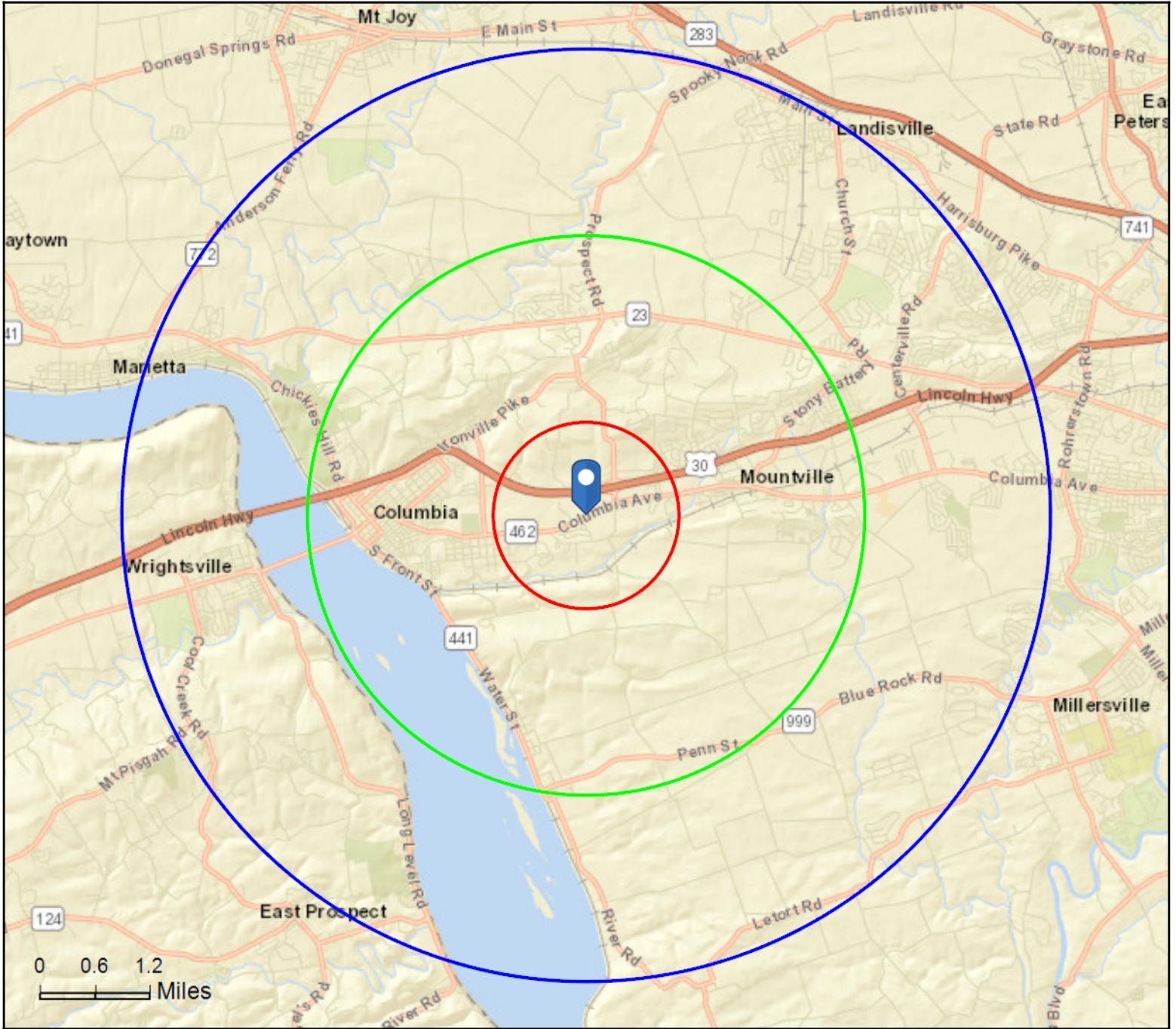
402.8 PERFORMANCE STANDARDS as provided for in §802.



Site Map

4031 Columbia Ave, Columbia, Pennsylvania, 17512
Rings: 1, 3, 5 mile radii

Prepared by Esri
Latitude: 40.03431
Longitude: -76.46099





Executive Summary

4031 Columbia Ave, Columbia, Pennsylvania, 17512 2
 4031 Columbia Ave, Columbia, Pennsylvania, 17512
 Rings: 1, 3, 5 mile radii

Prepared by Esri
 Latitude: 40.03431
 Longitude: -76.46099

	1 mile	3 miles	5 miles
Population			
2000 Population	2,431	27,199	54,112
2010 Population	2,691	30,106	58,822
2019 Population	2,772	31,351	62,055
2024 Population	2,825	32,066	63,722
2000-2010 Annual Rate	1.02%	1.02%	0.84%
2010-2019 Annual Rate	0.32%	0.44%	0.58%
2019-2024 Annual Rate	0.38%	0.45%	0.53%
2019 Male Population	47.1%	48.5%	48.9%
2019 Female Population	52.9%	51.5%	51.1%
2019 Median Age	40.6	40.8	42.3

In the identified area, the current year population is 62,055. In 2010, the Census count in the area was 58,822. The rate of change since 2010 was 0.58% annually. The five-year projection for the population in the area is 63,722 representing a change of 0.53% annually from 2019 to 2024. Currently, the population is 48.9% male and 51.1% female.

Median Age

The median age in this area is 40.6, compared to U.S. median age of 38.5.

Race and Ethnicity

2019 White Alone	81.6%	85.6%	87.7%
2019 Black Alone	5.5%	4.8%	3.6%
2019 American Indian/Alaska Native Alone	0.2%	0.2%	0.2%
2019 Asian Alone	1.8%	2.0%	2.6%
2019 Pacific Islander Alone	0.0%	0.0%	0.0%
2019 Other Race	7.7%	4.0%	3.0%
2019 Two or More Races	3.1%	3.4%	2.8%
2019 Hispanic Origin (Any Race)	21.2%	11.3%	9.0%

Persons of Hispanic origin represent 9.0% of the population in the identified area compared to 18.6% of the U.S. population. Persons of Hispanic Origin may be of any race. The Diversity Index, which measures the probability that two people from the same area will be from different race/ethnic groups, is 35.4 in the identified area, compared to 64.8 for the U.S. as a whole.

Households

2019 Wealth Index	70	70	96
2000 Households	872	10,577	20,826
2010 Households	1,019	11,968	23,152
2019 Total Households	1,048	12,433	24,338
2024 Total Households	1,066	12,700	24,962
2000-2010 Annual Rate	1.57%	1.24%	1.06%
2010-2019 Annual Rate	0.30%	0.41%	0.54%
2019-2024 Annual Rate	0.34%	0.43%	0.51%
2019 Average Household Size	2.60	2.48	2.53

The household count in this area has changed from 23,152 in 2010 to 24,338 in the current year, a change of 0.54% annually. The five-year projection of households is 24,962, a change of 0.51% annually from the current year total. Average household size is currently 2.53, compared to 2.52 in the year 2010. The number of families in the current year is 16,968 in the specified area.

Data Note: Income is expressed in current dollars. Housing Affordability Index and Percent of Income for Mortgage calculations are only available for areas with 50 or more owner-occupied housing units.

Source: U.S. Census Bureau, Census 2010 Summary File 1. Esri forecasts for 2019 and 2024. Esri converted Census 2000 data into 2010 geography.



Executive Summary

4031 Columbia Ave, Columbia, Pennsylvania, 17512 2
 4031 Columbia Ave, Columbia, Pennsylvania, 17512
 Rings: 1, 3, 5 mile radii

Prepared by Esri
 Latitude: 40.03431
 Longitude: -76.46099

	1 mile	3 miles	5 miles
Mortgage Income			
2019 Percent of Income for Mortgage	15.9%	14.9%	14.5%
Median Household Income			
2019 Median Household Income	\$57,811	\$59,779	\$67,729
2024 Median Household Income	\$62,373	\$66,032	\$75,702
2019-2024 Annual Rate	1.53%	2.01%	2.25%
Average Household Income			
2019 Average Household Income	\$74,388	\$73,874	\$85,094
2024 Average Household Income	\$82,449	\$83,051	\$95,686
2019-2024 Annual Rate	2.08%	2.37%	2.37%
Per Capita Income			
2019 Per Capita Income	\$29,493	\$29,217	\$33,228
2024 Per Capita Income	\$32,613	\$32,804	\$37,304
2019-2024 Annual Rate	2.03%	2.34%	2.34%

Households by Income

Current median household income is \$67,729 in the area, compared to \$60,548 for all U.S. households. Median household income is projected to be \$75,702 in five years, compared to \$69,180 for all U.S. households

Current average household income is \$85,094 in this area, compared to \$87,398 for all U.S. households. Average household income is projected to be \$95,686 in five years, compared to \$99,638 for all U.S. households

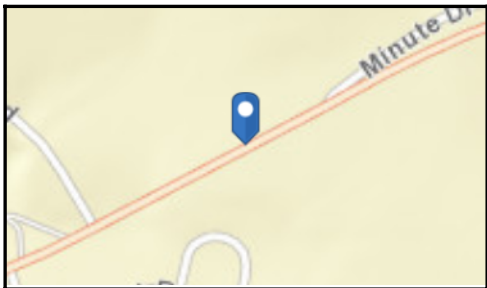
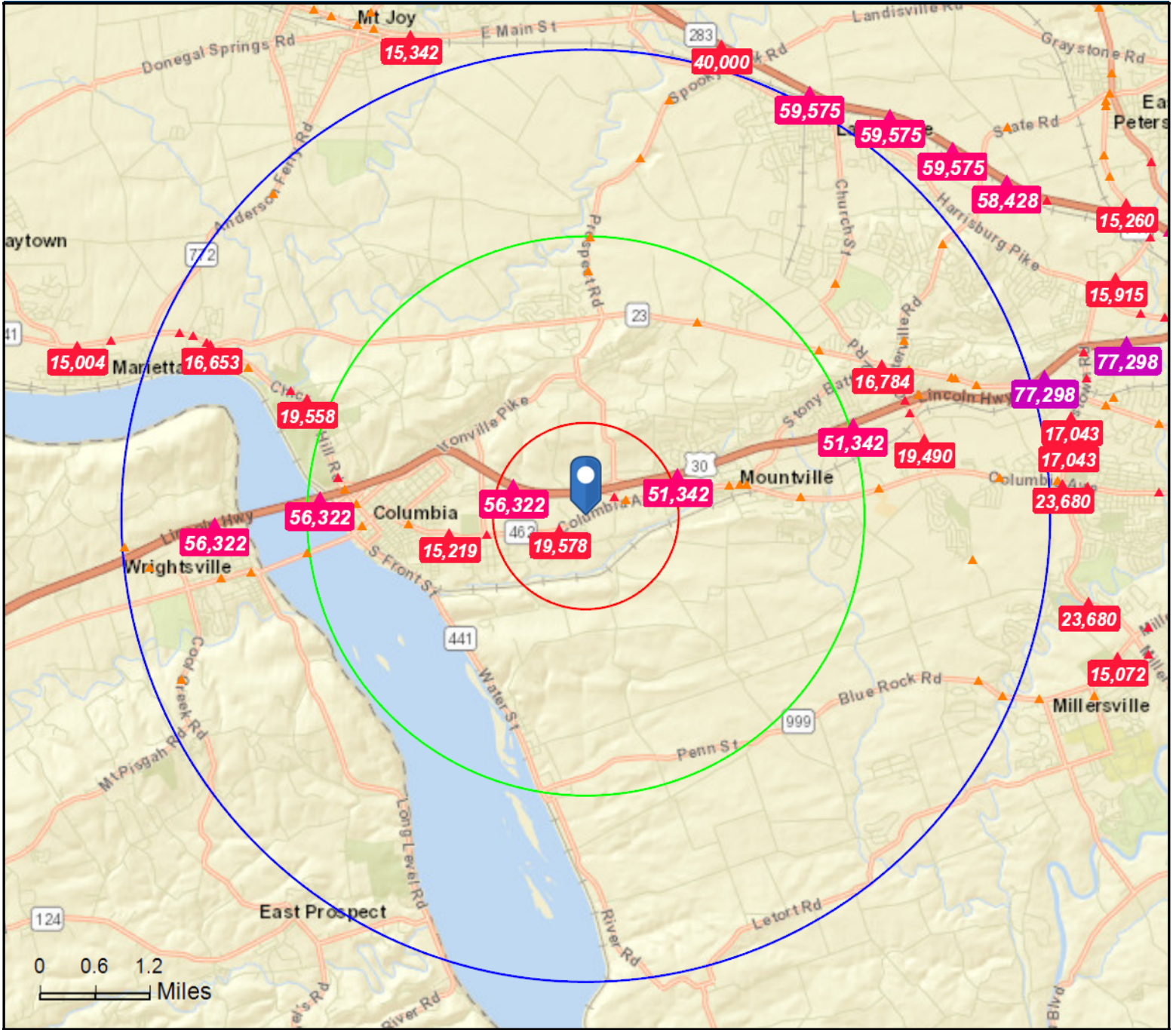
Current per capita income is \$33,228 in the area, compared to the U.S. per capita income of \$33,028. The per capita income is projected to be \$37,304 in five years, compared to \$36,530 for all U.S. households

Housing			
2019 Housing Affordability Index	130	130	138
2000 Total Housing Units	902	11,053	21,712
2000 Owner Occupied Housing Units	575	7,586	16,015
2000 Renter Occupied Housing Units	297	2,991	4,811
2000 Vacant Housing Units	30	476	886
2010 Total Housing Units	1,055	12,590	24,335
2010 Owner Occupied Housing Units	682	8,184	17,242
2010 Renter Occupied Housing Units	337	3,784	5,910
2010 Vacant Housing Units	36	622	1,183
2019 Total Housing Units	1,085	13,099	25,594
2019 Owner Occupied Housing Units	660	8,074	17,344
2019 Renter Occupied Housing Units	388	4,359	6,994
2019 Vacant Housing Units	37	666	1,256
2024 Total Housing Units	1,104	13,379	26,249
2024 Owner Occupied Housing Units	669	8,253	17,754
2024 Renter Occupied Housing Units	397	4,447	7,207
2024 Vacant Housing Units	38	679	1,287

Currently, 67.8% of the 25,594 housing units in the area are owner occupied; 27.3%, renter occupied; and 4.9% are vacant. Currently, in the U.S., 56.4% of the housing units in the area are owner occupied; 32.4% are renter occupied; and 11.2% are vacant. In 2010, there were 24,335 housing units in the area - 70.9% owner occupied, 24.3% renter occupied, and 4.9% vacant. The annual rate of change in housing units since 2010 is 2.27%. Median home value in the area is \$200,905, compared to a median home value of \$234,154 for the U.S. In five years, median value is projected to change by 2.29% annually to \$225,009.

Data Note: Income is expressed in current dollars. Housing Affordability Index and Percent of Income for Mortgage calculations are only available for areas with 50 or more owner-occupied housing units.

Source: U.S. Census Bureau, Census 2010 Summary File 1. Esri forecasts for 2019 and 2024. Esri converted Census 2000 data into 2010 geography.



- Average Daily Traffic Volume**
- ▲ Up to 6,000 vehicles per day
 - ▲ 6,001 - 15,000
 - ▲ 15,001 - 30,000
 - ▲ 30,001 - 50,000
 - ▲ 50,001 - 100,000
 - ▲ More than 100,000 per day



Source: ©2019 Kalibrate Technologies (Q1 2019).



Traffic Count Profile

4031 Columbia Ave, Columbia, Pennsylvania, 17512
Rings: 1, 3, 5 mile radii

Prepared by Esri
Latitude: 40.03431
Longitude: -76.46099

Distance:	Street:	Closest Cross-street:	Year of Count:	Count:
0.30	US Hwy 30	Prospect Rd (0.17 miles E)	2017	1,756
0.31	Columbia Ave	Laurel Run (0.06 miles E)	2017	19,578
0.32	Wrights Ferry Brg	Prospect Rd (0.17 miles E)	2017	2,196
0.37	Prospect Rd	Columbia Ave (0.06 miles S)	2016	15,087
0.46	Columbia Ave	Prospect Rd (0.12 miles W)	2017	10,466
0.50	Prospect Rd	Indian Head Rd (0.03 miles N)	2017	6,881
0.52		(0.0 miles)	2017	5,103
0.57	US Hwy 30	Prospect Rd (0.1500001 miles W)	2017	5,031
0.84	Sylvan Retreat Rd	US Hwy 30 (0.0 miles N)	2017	1,827
0.85	Wrights Ferry Brg	Malleable Rd (0.4000001 miles NW)	2016	56,322
0.86	Franklin Rd	Deascenti Dr (0.04 miles N)	2017	832
0.87	Prospect Rd	Concordia Rd (0.34 miles N)	2010	6,129
0.87	Sylvan Retreat Rd	Continental Dr (0.02 miles N)	2010	2,027
0.88	W Main St	Strickler Run Dr (0.04 miles E)	2017	10,466
0.95	S 18th St	Manor St (0.06 miles N)	2017	1,145
0.99	Prospect Rd	Concordia Rd (0.1800001 miles N)	2017	6,881
1.08	Lancaster Ave	S 15th St (0.02 miles W)	2017	19,578
1.09	US Hwy 30	Spring Ln (0.19 miles E)	2017	51,342
1.11	Manor St	S 16th St (0.04 miles E)	2017	1,145
1.11	Malleable Rd	Pheasant Dr (0.16 miles N)	2017	1,874
1.24	Concordia Rd	Vista St (0.02 miles E)	2002	550
1.24	Franklin Rd	Shultz Rd (0.13 miles W)	2017	832
1.25	Malleable Rd	Sangrey Ln (0.02 miles N)	2017	1,665
1.28	Malleable Rd	Sangrey Ln (0.03 miles S)	2017	1,874
1.35	Prospect Rd	Indianhead Rd (0.06 miles NW)	2017	6,096
1.36	Manor St	S 12th St (0.04 miles W)	2017	1,843
1.40	Concordia Rd	Hempfield Hill Rd (0.05 miles W)	2002	550
1.42	Hill St	US Hwy 30 (0.09 miles NW)	2017	2,135
1.43	Hill St	Spring Run (0.01 miles S)	2017	2,135
1.46	S 11th St	Ave V (0.01 miles N)	2016	189

Data Note:The Traffic Profile displays up to 30 of the closest available traffic counts within the largest radius around your site. The years of the counts in the database range from 2019 to 1963. Over 25% of the counts were taken between 2010 and 2019 and over 77% of the counts were taken between 2000 and 2019. Traffic counts are identified by the street on which they were recorded, along with the distance and direction to the closest cross-street. Distances displayed as 0.00 miles (due to rounding), are closest to the site. A traffic count is defined as the two-way Average Daily Traffic (ADT) that passes that location.

Source: ©2019 Kalibrate Technologies (Q1 2019).

COMMERCIAL PROPERTY INFORMATION SHEET

CPI

This form recommended and approved for, but not restricted to use by, the members of the Pennsylvania Association of REALTORS® (PAR).

1 PROPERTY 4031 Columbia Ave, Columbia, PA 17512-9213

3 OWNER Smartgrowth Holdings, LLC

4 Owner is providing information to help Broker market the Property. This Statement is not a substitute for any inspections or warranties that a buyer
5 may wish to obtain. This Statement is not a warranty of any kind by Owner or a warranty or representation by any listing real estate broker (Agent for
6 Owner), any real estate broker, or their agents.

7 Property Type: [] Office [X] Retail [] Industrial [] Multi-family [] Land [] Institutional
8 [] Hospitality [] Other:

10 1. OWNER'S EXPERTISE Owner does not possess expertise in contracting, engineering, environmental assessment, architecture, or other areas related to the
11 construction and conditions of the Property and its improvements, except as follows:

13 2. OCCUPANCY Do you, Owner, currently occupy the Property? [] Yes [X] No
14 If no, when did you last occupy the Property?

15 3. DESCRIPTION

16 A. Land Area: 0.79 AC

17 B. Dimensions:

18 C. Shape:

19 D. Building Square Footage: 6,240 SF

20 4. PHYSICAL CONDITION

21 A. Age of Property: 1970 Additions:

22 B. Roof

23 1. Age of roof(s): 16 yrs [] Unknown

24 2. Type of roof(s): RUBBER

25 3. Has the roof been replaced or repaired during your ownership? [X] Yes [] No

26 4. Has the roof ever leaked during your ownership? [X] Yes [] No

27 5. Do you know of any problems with the roof, gutters, or downspouts? [] Yes [X] No

28 Explain any yes answers you give in this section:

31 C. Structural Items, Basements and Crawl Spaces

32 1. Are you aware of any water leakage, accumulation, or dampness in the building or other structures? [] Yes [X] No

33 2. Does the Property have a sump pump? [] Yes [X] No

34 3. Do you know of any repairs or other attempts to control any water or dampness problem in the building or other structures?
35 [] Yes [X] No

36 4. Are you aware of any past or present movement, shifting, deterioration, or other problems with walls, foundations, floors, or other
37 structural components? [] Yes [X] No

38 Explain any yes answers that you give in this section, describing the location and, if applicable, the extent of the problem and the date and person
39 by whom any repairs were done, if known:

42 D. Mechanical Systems

43 1. Type of heating: [X] Forced Air [] Hot Water [] Steam [] Radiant

44 [] Other:

45 2. Type of heating fuel: [] Electric [] Fuel Oil [] Natural Gas [X] Propane (on-site) [] Central Plant

46 [] Other types of heating systems or combinations:

48 3. Are there any chimneys? [] Yes [X] No If yes, how many? _____

49 Are they working? [] Yes [] No When were they last cleaned? _____

50 4. List any buildings (or are as in any buildings) that are not heated: _____

52 5. Type of water heater: [] Electric [X] Gas [] Oil Capacity: _____

53 [] Other: _____

55 Buyer Initials: _____ CPI Page 1 of 6 Owner Initials: op



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- 56 6. Type of plumbing: Copper Galvanized Lead PVC Unknown
 57 Other: _____
 58 7. Are you aware of any problems with plumbing or heating systems or fixtures on the Property? Yes No
 59 If yes, explain: _____
 60
 61 8. Type of air conditioning: Central Electric Central Gas Wall None Capacity: _____
 62 List any buildings (or areas of any buildings) that are not air conditioned: _____
 63
 64 9. Type of electric service: _____ AMP 220 Volt 3-phase 1-phase KVA: _____
 65 Other: _____
 66 Transformers: _____ Type: _____
 67 Are you aware of any problems or repairs needed in the electrical system? Yes No If yes, explain: _____
 68
 69 10. Are you aware of any problems with any item in this section that has not already been disclosed? Yes No
 70 If yes, explain: _____
 71
 72

73 E. Site Improvements

- 74 1. Are you aware of any problems with storm-water drainage? Yes No
 75 2. Are you aware of any past or present problems with driveways, parking areas, sidewalks, curbs, other paved surfaces, or retaining walls on
 76 the Property? Yes No
 77 Explain any yes answers that you give in this section, describing the location and, if applicable, the extent of the problem and the date and person
 78 by whom any repairs were done, if known: _____
 79
 80

81 F. Other Equipment

- 82 1. Exterior Signs: Yes No How many? 1 Number Illuminated: 1
 83 2. Elevators: Yes No How many? _____ Cable Hydraulic rail
 84 Working order? Yes No Certified through (date) _____ Date last serviced _____
 85 3. Skylights: Yes No How many? _____
 86 4. Overhead Doors: Yes No How many? _____ Size: _____
 87 5. Loading Docks: Yes No How many? _____ Levelers: Yes No
 88 6. At grade doors: Yes No How many? _____
 89 7. Are you aware of any problems with the equipment listed in this section? Yes No
 90 If yes, explain: _____
 91

92 G. Fire Damage

- 93 1. To your knowledge, was there ever a fire on the Property? Yes No
 94 2. Are you aware of any unrepaired fire damage to the Property and any structures on it? Yes No
 95 If yes, explain location and extent of damage: _____

- 96 H. Are you aware of any problems with water and sewer lines servicing the Property? Yes No
 97 If yes, explain: _____
 98

99 I. Alarm/Safety Systems

- 100 1. Fire: Yes No In working order? Yes No
 101 If yes, connected to: Fire Department Yes No Monitoring Service: Yes No
 102 2. Fire extinguishers: Yes No
 103 3. Smoke: Yes No In working order? Yes No
 104 4. Sprinkler: Yes No Inspected/certified? Yes No
 105 Wet Dry Flow rate: _____
 106 5. Security: Yes No In working order? Yes No
 107 If yes, connected to: Police Department Yes No Monitoring Service Yes No
 108 6. Are there any areas of the Property that are not serviced by the systems in this section? Yes No
 109 If yes, explain: _____
 110

111 5. ENVIRONMENTAL

112 A. Soil Conditions

- 113 1. Are you aware of any fill or expansive soil on the Property? Yes No
 114 If yes, were soil compaction tests done? Yes No If yes, by whom? _____
 115
 116 2. Are you aware of any sliding, settling, earth movement, upheaval, subsidence, or earth stability problems that have occurred on or affect the
 117 Property? Yes No

118 Buyer Initials: _____

Owner Initials: CP

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3. Are you aware of any existing or proposed mining, strip-mining, or any other excavations that might affect the Property?

Yes No

Explain any yes answers you give in this section: _____

B. Hazardous Substances

1. Are you aware of the presence of any of the following on the Property?

Asbestos material: Yes No

Formaldehyde gas and/or ureaformaldehyde foam insulation (UFFI): Yes No

Discoloring of soil or vegetation: Yes No

Oil sheen in wet areas: Yes No

Contamination of well or other water supply: Yes No

Proximity to current or former waste disposal sites: Yes No

Proximity to current or former commercial or industrial facilities: Yes No

Proximity to current, proposed, or former mines or gravel pits: Yes No

Radon levels above 4 pico curies per liter: Yes No

Use of lead-based paint: Yes No

Note: If Property contains a residence with one to four dwelling units, and the structure was constructed, or construction began, before 1978, you must disclose any knowledge of lead-based paint and any reports and/or records of lead-based paint on the Property.

Are you aware of any lead-based paint or lead-based paint hazards on the Property? Yes No

If yes, explain how you know of it, where it is, and the condition of those lead-based paint surfaces: _____

Are you aware of any reports or records regarding lead-based paint or lead-based paint hazards on the Property? Yes No

If yes, list all available reports and records: _____

2. To your knowledge, has the Property been tested for any hazardous substances? Yes No

3. Are you aware of any storage tanks on the Property? Yes No Aboveground Underground

Total number of storage tanks on the Property: 1 Aboveground _____ Underground

Are all storage tanks registered with the Pennsylvania Department of Environmental Protection? Yes No

If no, identify any unregistered storage tanks: _____

Has any storage tank permit ever been revoked pursuant to a federal or state law regulating storage tanks? Yes No

Have you ever been ordered to take corrective action by a federal or state agency citing a release, or danger of release, from a storage tank?

Yes No

Do methods and procedures exist for the operation of tanks and for the operator's/owner's maintenance of a leak detection system, an inventory control system, and a tank testing system? Yes No Explain: _____

Has there been any release or any corrective action taken in response to a release from any of the storage tanks on the Property?

Yes No If yes, have you reported the release to and corrective action to any governmental agency? Yes No

Explain: _____

4. Do you know of any other environmental concerns that may have an impact on the Property? Yes No

Explain any yes answers you give in this section: _____

C. Wood Infestation

1. Are you aware of any termites/wood-destroying insects, dry rot, or pests affecting the Property? Yes No

2. Are you aware of any damage to the Property caused by termites/wood-destroying insects, dryrot, or pests? Yes No

3. Is the Property currently under contract by a licensed pest control company? Yes No

4. Are you aware of any termite/pest control reports or treatments for the Property in the last five years? Yes No

Explain any yes answers you give in this section: _____

D. Natural Hazards/Wetlands

1. To your knowledge, is this Property, or part of it, located in a flood zone or wetlands area? Yes No

2. Do you know of any past or present drainage or flooding problems affecting the Property? Yes No

3. To your knowledge, is this Property, or part of it, located in an earthquake or other natural hazard zone? Yes No

Explain any yes answers you give in this section: _____

182 Buyer Initials: _____

Owner Initials: CP

183 6. UTILITIES

184 A. Water

185 1. What is the source of your drinking water? Public Community System Well on Property

186 Other: _____

187 2. If the Property's source of water is not public:

188 When was the water last tested? _____

189 What was the result of the test? _____

190 Is the pumping system in working order? Yes No

191 If no, explain: _____

192 3. Is there a softener, filter, or other purification system? Yes No

193 If yes, is the system: Leased Owned

194 4. Are you aware of any problems related to the water service? Yes No

195 If yes, explain: _____

196 B. Sewer/Septic

197 1. What is the type of sewage system? Public Sewer Community Sewer On-site (or Individual) sewage system

198 If on-site, what type? Cesspool Drainfield Unknown

199 Other (specify): _____

200 2. Is there a septic tank on the Property? Yes No Unknown

201 If yes, what is the type of tank? Metal/steel Cement/concrete Fiberglass Unknown

202 Other (specify): _____

203 3. When was the on-site sewage disposal system last serviced? _____

204 4. Is there a sewage pump? Yes No

205 If yes, is it in working order? Yes No

206 5. Are you aware of any problems related to the sewage system? Yes No

207 If yes, explain: _____

208 C. Other Utilities

209 The Property is serviced by the following: Natural Gas Electricity Telephone

210 Other: Internet

211 7. TELECOMMUNICATIONS

212 A. Is a telephone system included with the sale of the Property? Yes No

213 If yes, type: _____

214 B. Are ISDN lines included with the sale of the Property? Yes No

215 C. Is the Property equipped with satellite dishes? Yes No

216 If yes, how many? _____ Location: _____

217 D. Is the Property equipped forcable TV? Yes No

218 If yes, number of hook-ups: _____ Location: _____

219 E. Are there fiber optics available to the Property? Yes No Is the building wired for fiber optics? Yes No

220 Does the Property have T1 or other capability? Yes No

221 8. GOVERNMENTAL ISSUES/ZONING/USE/CODES

222 A. Compliance, Building Codes & OSHA

223 1. Do you know of any violations of federal (including ADA), state, or local laws or regulations relating to this Property? Yes No

224 2. Do you know of any violations of building codes or municipal ordinances concerning this Property? Yes No

225 3. Do you know of any health, fire, or safety violations concerning this Property? Yes No

226 4. Do you know of any OSHA violations concerning this Property? Yes No

227 5. Do you know of any improvements to the Property that were done without building or other required permits? Yes No

228 Explain any yes answers you give in this section: _____

229 B. Condemnation or Street Widening

230 To your knowledge, is the Property located in an area where public authorities are contemplating proceedings for highway, thoroughfare, rail, or utility construction, a redevelopment project, street widening or lighting, or other similar public projects? Yes No

231 If yes, explain: _____

232 C. Zoning

233 1. The Property is currently zoned C-2 COMMERCIAL by the (county, ZIP) Lancaster 17512-9213

234 Current use is: conforming non-conforming permitted by variance permitted by special exception

235 3. Do you know of any pending or proposed changes in zoning? Yes No

236 If yes, explain: _____

246 Buyer Initials: _____

Owner Initials: CP

- 247 D. Is there an occupancy permit for the Property? Yes No
- 248 E. Is there a Labor and Industry Certificate for the Property? Yes No
- 249 If yes, Certificate Number is: _____
- 250 F. Is the Property a designated historic or archeological site? Yes No
- 251 If yes, explain: _____
- 252 _____

253 **9. LEGAL/TITLE ISSUES**

- 254 A. Are you aware of any encroachments or boundary line disputes regarding the Property? Yes No
- 255 B. Are you aware of any recorded encumbrances, covenants, conditions, restrictions, mineral or natural restrictions, easements, licenses, liens, charges, agreements, or other matters which affect the title of the Property? Yes No
- 257 C. Are you aware of any encumbrances, covenants, conditions, restrictions, mineral or natural restrictions, easements, licenses, liens, charges, agreements, or other matters which affect the title of the Property that have not been recorded in the official records of the county recorder where the Property is located? Yes No
- 258
- 259 D. Are you aware of any public improvement, condominium, or owner association assessments against the Property that remain unpaid? Yes No
- 260
- 261 E. Are you aware of any existing or threatened action, suit, or government proceeding relating to the Property? Yes No
- 262 F. Are you aware of any reason, including a defect in title, that would prevent you from conveying title to the Property? Yes No
- 263 G. Are you aware of any judgment, encumbrance, lien (for example co-maker or equity loan) or other debt against the Property that cannot be satisfied by the proceeds of this sale? Yes No
- 264 H. Are you aware of any insurance claims filed relating to the Property? Yes No
- 265 Explain any yes answers you give in this section: _____
- 266 _____
- 267 _____
- 268 _____
- 269 _____
- 270 _____

271 **10. RESIDENTIAL UNITS**

- 272 Is there a residential dwelling unit located on the Property? Yes No If yes, number of residential dwelling units: _____
- 273 Note: If one to four residential dwelling units are to be sold with, or as part of, the Property, Owner must complete a Seller's Property Disclosure Statement, as required by the Pennsylvania Real Estate Seller's Disclosure Law (68 P.S. §7301 et. seq.).
- 274

275 **11. TENANCY ISSUES**

- 276 A. Are you aware of any existing leases, subleases or other tenancy agreements affecting the Property? Yes No
- 277 B. Are there any verbal agreements or understandings with tenants that are not specifically recorded in the lease (e.g., a promise not to increase rent, an implied agreement to let tenant end lease early, a first right of refusal on adjoining space)? Yes No
- 278 C. Are there any tenants for whom you do not currently have a security deposit? Yes No
- 280 D. Are there any tenants who have been 5 or more days late with their rent payment more than once this year? Yes No
- 281 E. Are there any tenants who are currently more than 30 days behind in paying rent, cam, or tax charges? Yes No
- 282 F. Are there any tenants who are in default of the lease for other than monetary reasons (e.g., failure to comply with rules, regulations, lease terms, etc.)? Yes No
- 283 G. Are there any tenants that you have reason to believe are likely to fall into default of their lease within the next six months? Yes No
- 284 H. Is there any tenant that you would consider evicting or not offering an opportunity for renewal? Yes No
- 285 I. Are you currently involved in any type of dispute with any tenant? Yes No
- 286 Explain any yes answers you give in this section, providing names of tenants where applicable. Attach additional sheet if necessary: _____
- 287 _____
- 288 _____
- 289 _____
- 290 _____

291 **12. DOMESTIC SUPPORT LIEN LEGISLATION**

- 292 Has any Owner, at any time, on or since January 1, 1998, been obligated to pay support under an order that is on record in a domestic relations office in any Pennsylvania county? Yes No
- 293 If yes, list name and social security numbers of Owner(s) obligated to pay, the county, and the Domestic Relations File or docket number: _____
- 294 _____
- 295 _____
- 296 _____
- 297 _____

298 **13. LAND USE RESTRICTIONS OTHER THAN ZONING**

- 299 A. Is the Property, or a portion of it, preferentially assessed for tax purposes under the Farmland and Forest Land Assessment Act (72 P.S. §5490.1 et seq.) (Clean and Green Program)? Yes No
- 300 Note: An Owner of Property enrolled in the Clean and Green Program must submit notice of the sale and any proposed changes in the use of Owner's remaining enrolled Property to the County Assessor 30 days before the transfer of title to Buyer. The sale of Property enrolled in the Clean and Green Program may result in the loss of program enrollment and the loss of preferential tax assessment for the Property and/or the land of which it is a part and from which it is being separated. Removal from enrollment in the Clean and Green Program may result in the charge of roll-back taxes and interest. A roll-back tax is the difference in the amount of taxes paid under the program and the taxes that would have been paid in the absence of Clean and Green enrollment. The roll-back taxes are charged for each year that the Property was enrolled in the program, limited to the past 7 years.
- 301
- 302
- 303
- 304
- 305
- 306
- 307

308 Buyer Initials: _____

Owner Initials: CP

- 309 B. Is the Property, or a portion of it, preferentially assessed for tax purposes under the Open Space Act (16 P.S. §11941 et seq.)
 310 (an Act enabling certain counties of the Commonwealth to covenant with landowners for preservation of land in farm, forest, water supply,
 311 or open spaces uses)? Yes No
 312 Note: This Act enables counties to enter into covenants with owners of land designated as farm, forest, water supply, or open space land on an
 313 adopted municipal, county or regional plan for the purpose of preserving the land as open space. A covenant between the owner and
 314 county is binding upon any Buyer of the Property during the period of time that the covenant is in effect (5 or 10 years). Covenants
 315 automatically renew at the end of the covenant period unless specific termination notice procedures are followed. When a breach of the
 316 covenant occurs, the then-owner is required to pay roll-back taxes and interest. A roll-back tax is the difference in the amount of taxes
 317 paid and the taxes that would have been paid in the absence of the covenant. The roll-back taxes are charged for each year that the
 318 Property was subject to the covenant, limited to the past 5 years.
 319 C. Is the Property, or a portion of it, preferentially assessed for tax purposes or enrolled in any program, other than Clean & Green and Open Space,
 320 that contains any covenants, subdivision restrictions, or other restrictions affecting the Property? Yes No
 321 Explain any yes answers you give in this section: _____
 322 _____
 323 _____

324 **14. SERVICE PROVIDER/CONTRACTOR INFORMATION**

- 325 A. Provide the names, addresses and phone numbers of the service providers for any Maintenance Contracts on the Property (e.g., elevators, other
 326 equipment, pest control). Attach additional sheet if necessary: _____
 327 _____
 328 _____
 329 _____
 330 B. Provide the names, addresses and phone numbers of the service providers for any Alarm/Safety Contracts on the Property (e.g., security alarm
 331 system, sprinkler system, fire/smoke). Attach additional sheet if necessary: _____
 332 _____
 333 _____
 334 _____
 335 C. Provide the names, addresses and phone numbers of the service providers for any utilities on the Property (e.g., water, water softener, sewage,
 336 on-site sewage service, natural gas, electric, telephone). Attach additional sheet if necessary: _____
 337 _____
 338 _____
 339 _____
 340 _____
 341 _____
 342 _____
 343 _____

344 The undersigned Owner represents that the information set forth in this document is accurate and complete to the best of Owner's knowledge. Owner
 345 permits Broker to share information contained in this document with prospective buyers/tenants and other real estate licensees. OWNER ALONE IS
 346 RESPONSIBLE FOR THE ACCURACY OF THE INFORMATION CONTAINED IN THIS STATEMENT. Owner will notify Broker in writing of
 347 any information supplied on this form which is rendered inaccurate by a change in the condition of the Property following completion of this form.

348
 349 OWNER Smartgrowth Holdings, LLC DATE 9/8/19
 350
 351
 352 OWNER _____ DATE _____
 353
 354 OWNER _____ DATE _____
 355
 356
 357
 358
 359 BUYER _____ DATE _____
 360
 361
 362 BUYER _____ DATE _____
 363
 364
 365 BUYER _____ DATE _____
 366
 367

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